

**City of Cranston  
Zoning Board of Review  
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review  
35 Sockanosset Crossroad Suite 6  
Cranston, RI 02920

Date: May 8, 2021

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Jennifer A. Minuto

ADDRESS: 169 Bluff Avenue ZIP CODE: 02905

APPLICANT: Jennifer A. Minuto

ADDRESS: 169 Bluff Avenue ZIP CODE: 02905

LESSEE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

1. ADDRESS OF PROPERTY: 169 Bluff Avenue, Cranston, RI 02905

2. ASSESSOR'S PLAT #: 989 BLOCK #: \_\_\_\_\_ ASSESSOR'S LOT #: 3775 WARD: 1

3. LOT FRONTAGE: 50' LOT DEPTH: 261.19' LOT AREA: 9,610 sq. ft.

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A6 30% 35'  
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: n/a PROPOSED: 20'-3"

6. LOT COVERAGE, PRESENT: 12.5% PROPOSED: 17%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 14 years

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? yes

9. GIVE SIZE OF EXISTING BUILDING(S): 1667' sq. ft.

10. GIVE SIZE OF PROPOSED BUILDING(S): 480' sq. ft.

11. WHAT IS THE PRESENT USE? n/a

12. WHAT IS THE PROPOSED USE? storage, music space

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 0

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: \_\_\_\_\_

*New accessory structure to serve for storage space and art studio and occasional music space. New utilities to space, WC, sewer, electrical.*

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? yes

16. WERE YOU REFUSED A PERMIT? no

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

*Chapter 17.60.010 - Accessory uses  
Cranston, Rhode Island - Code of Ordinances*

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: \_\_\_\_\_

*We need storage space, art studio space, and occasional music space with water and bathroom for safety and it is impractical to utilize sewer connection from main house on Bluff Avenue. We will need to access Marion Avenue South for sewer use.*

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

  
\_\_\_\_\_  
(OWNER SIGNATURE)

(401) 263-6171  
\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(OWNER SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(APPLICANT SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(LESSEE SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

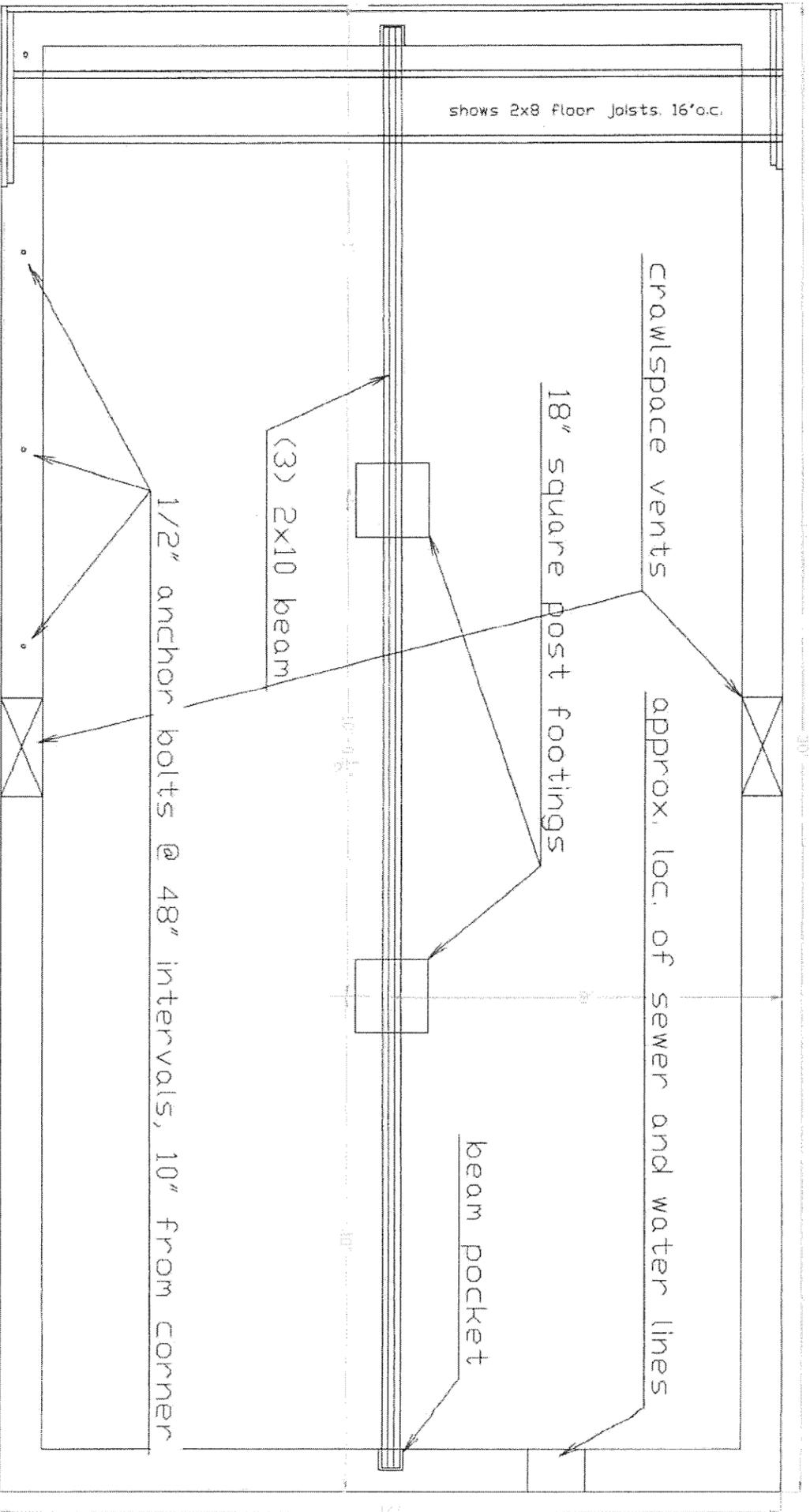
  
\_\_\_\_\_  
(ATTORNEY SIGNATURE)

(401) 263-6171  
\_\_\_\_\_  
(PHONE NUMBER)

*JENNIFER A. MINUTO*  
\_\_\_\_\_  
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 169 Bluff Avenue, Cranston, RI 02905

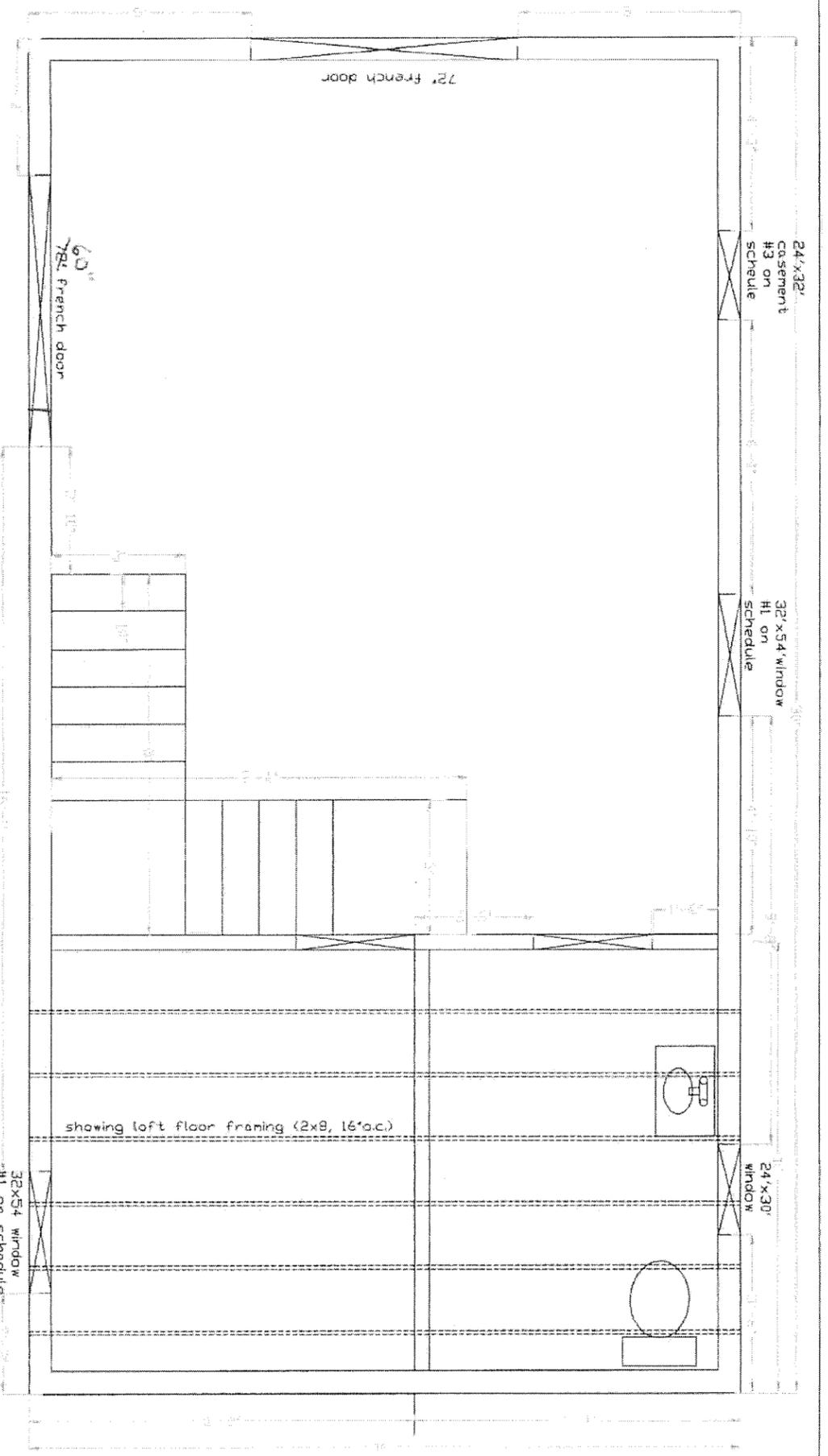
PRE-ZONING APPLICATION MEETING:  (PLANNING DEPT. SIGNATURE) 6-9-21 (DATE)



minuto music studio  
 169 bluff ave.  
 foundation  
 permit set  
 cpril 20 2021

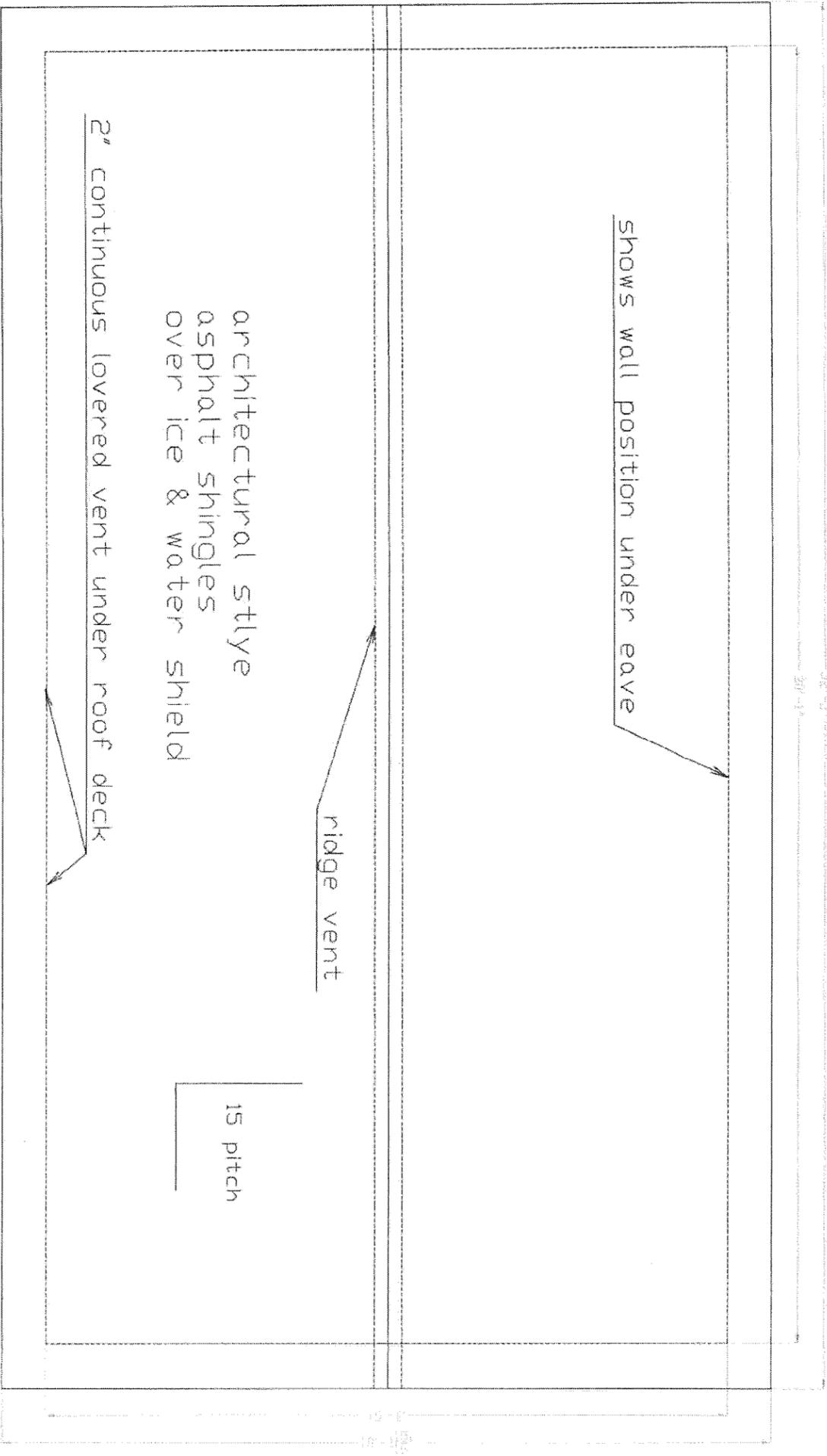
4' deep crawlspace with 10"  
 concrete walls.  
 see sections for construction  
 details.

A101



minuto music studio  
 169 bluff ave  
 floor plan  
 permit set    april 15 2021

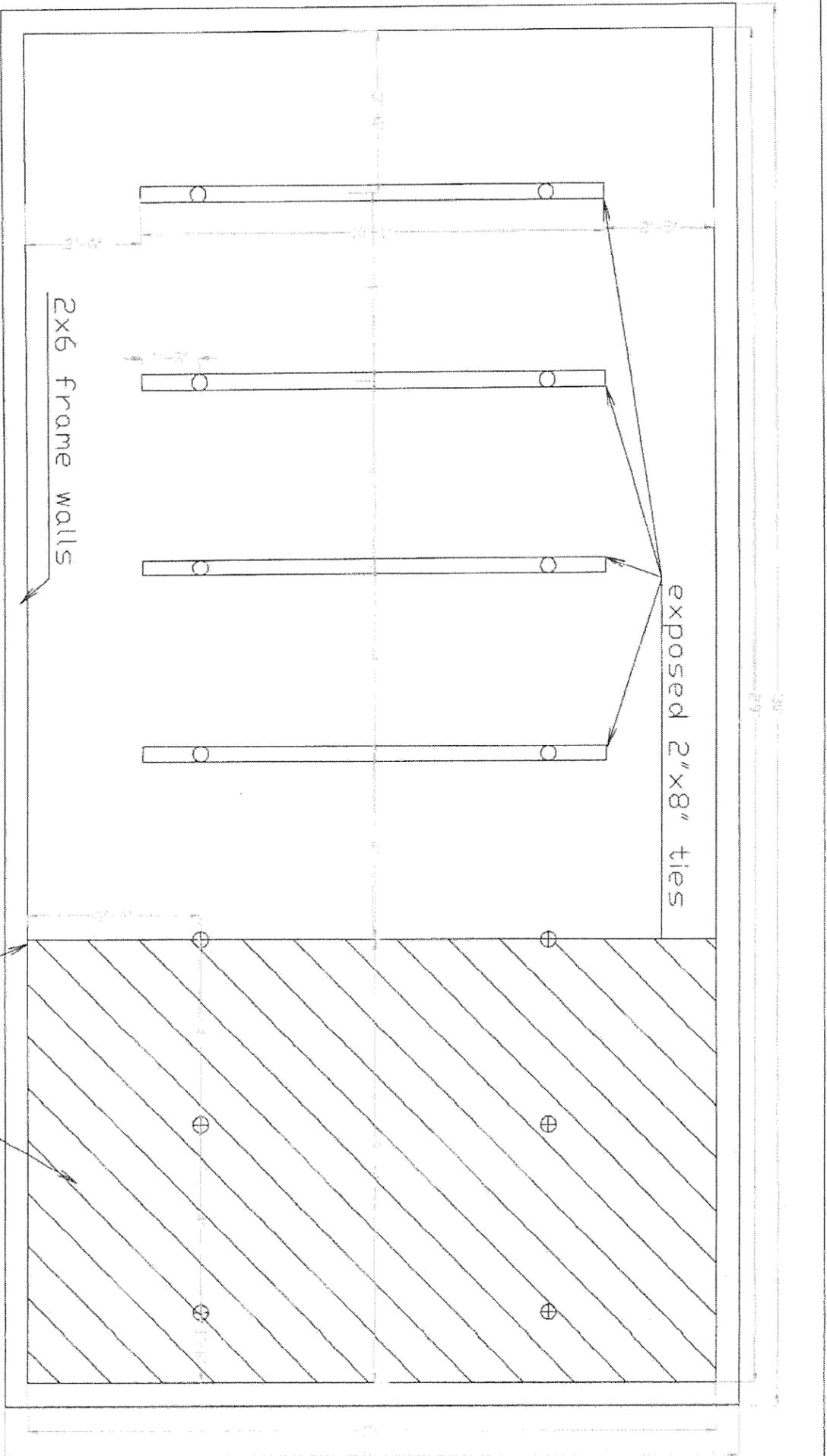
A102



minuto music studio  
169 bluffave.

roof plan  
permit set  
april 20 2021

A103

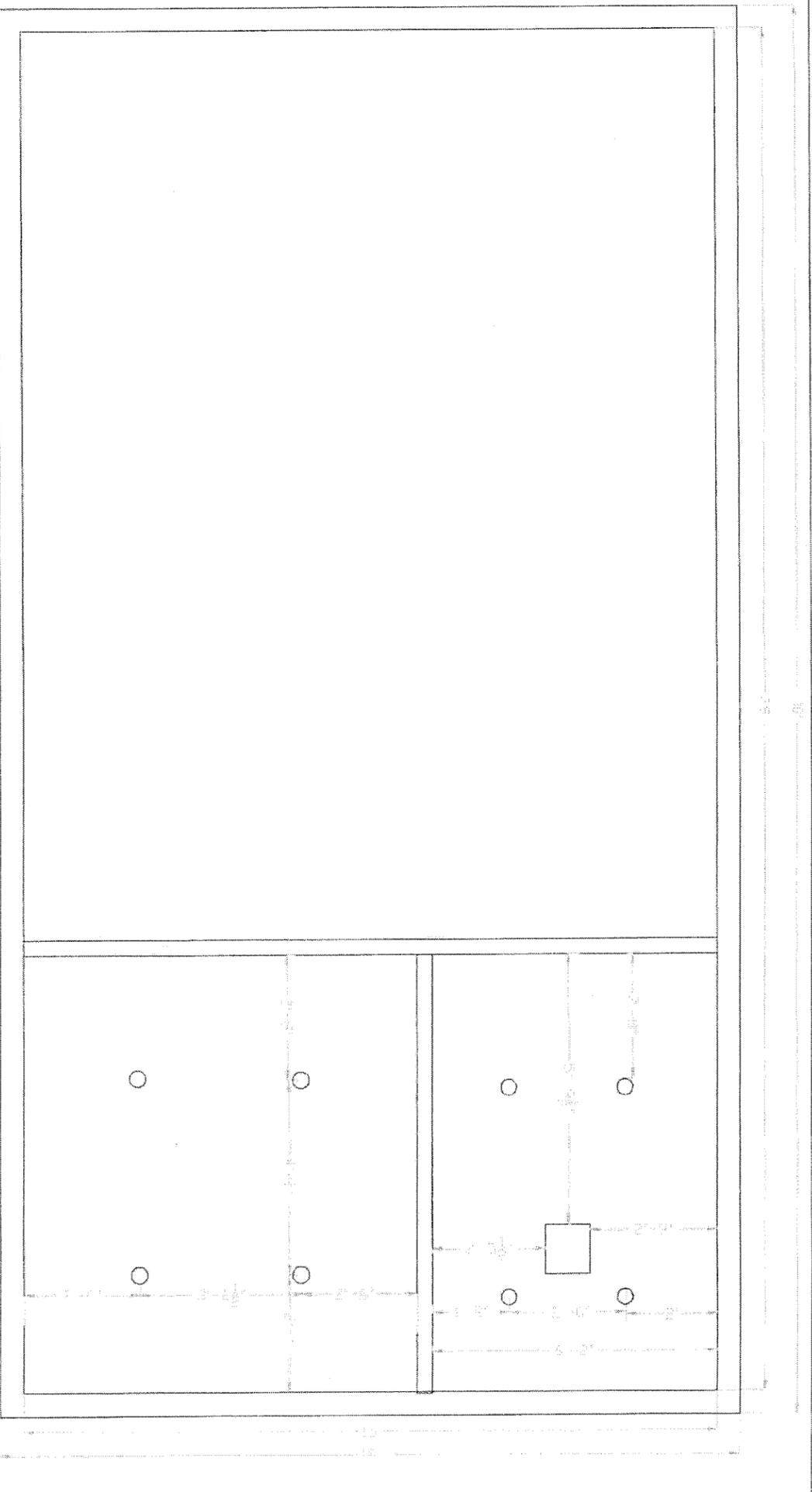


minuto music studio  
 169 bluff ave.  
 reflected ceiling plan  
 permit set  
 april 20 2021

- - pendant light fixture
- ⊕ - recessed light fixture

shaded area is loft floor  
 location of loft elevation

A104



minuto music studio  
 169 bluff ave.

○-indicates recessed light fixture

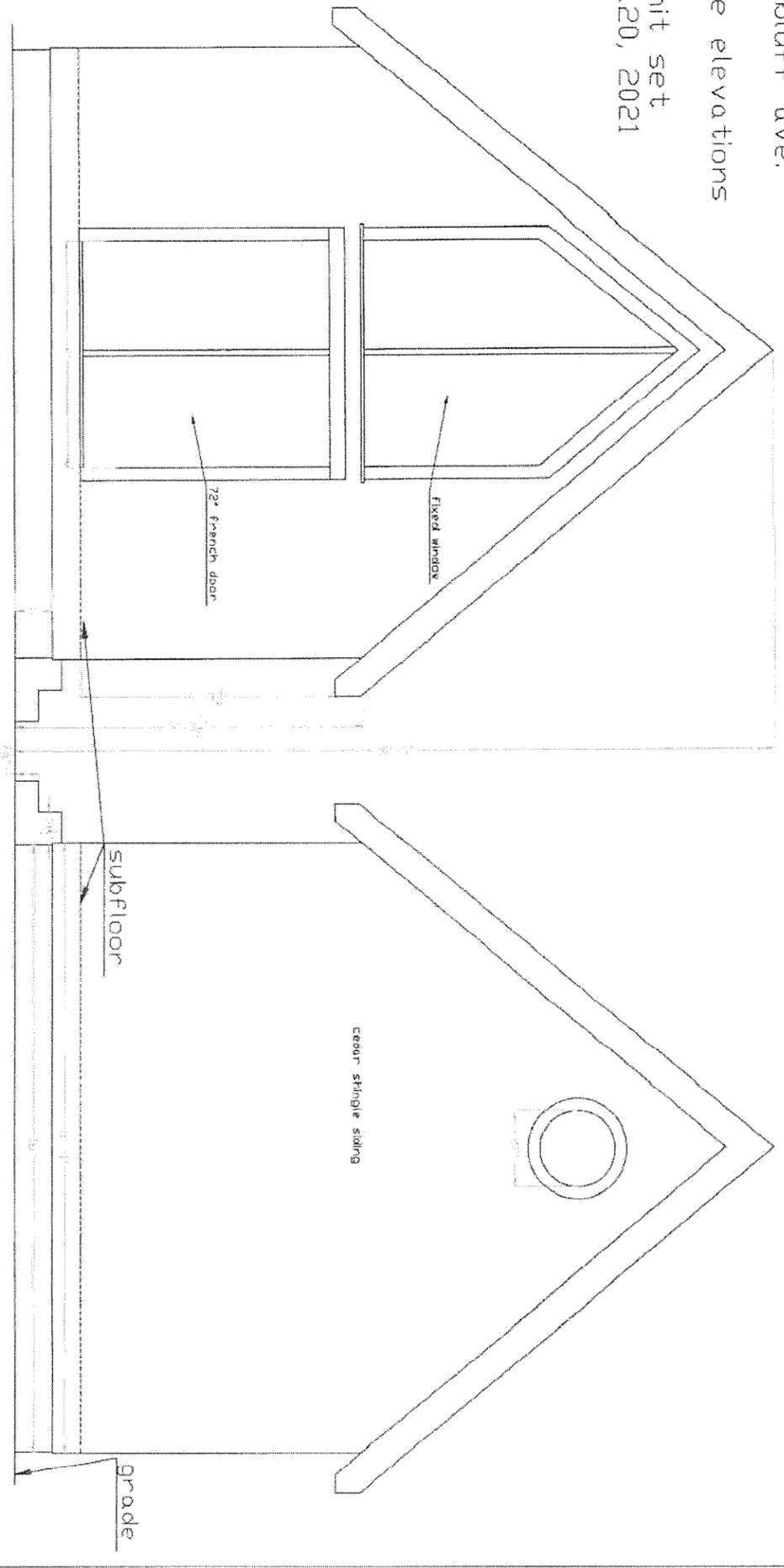
RCP- under loft  
 permit set  
 april 20 2021

A 105

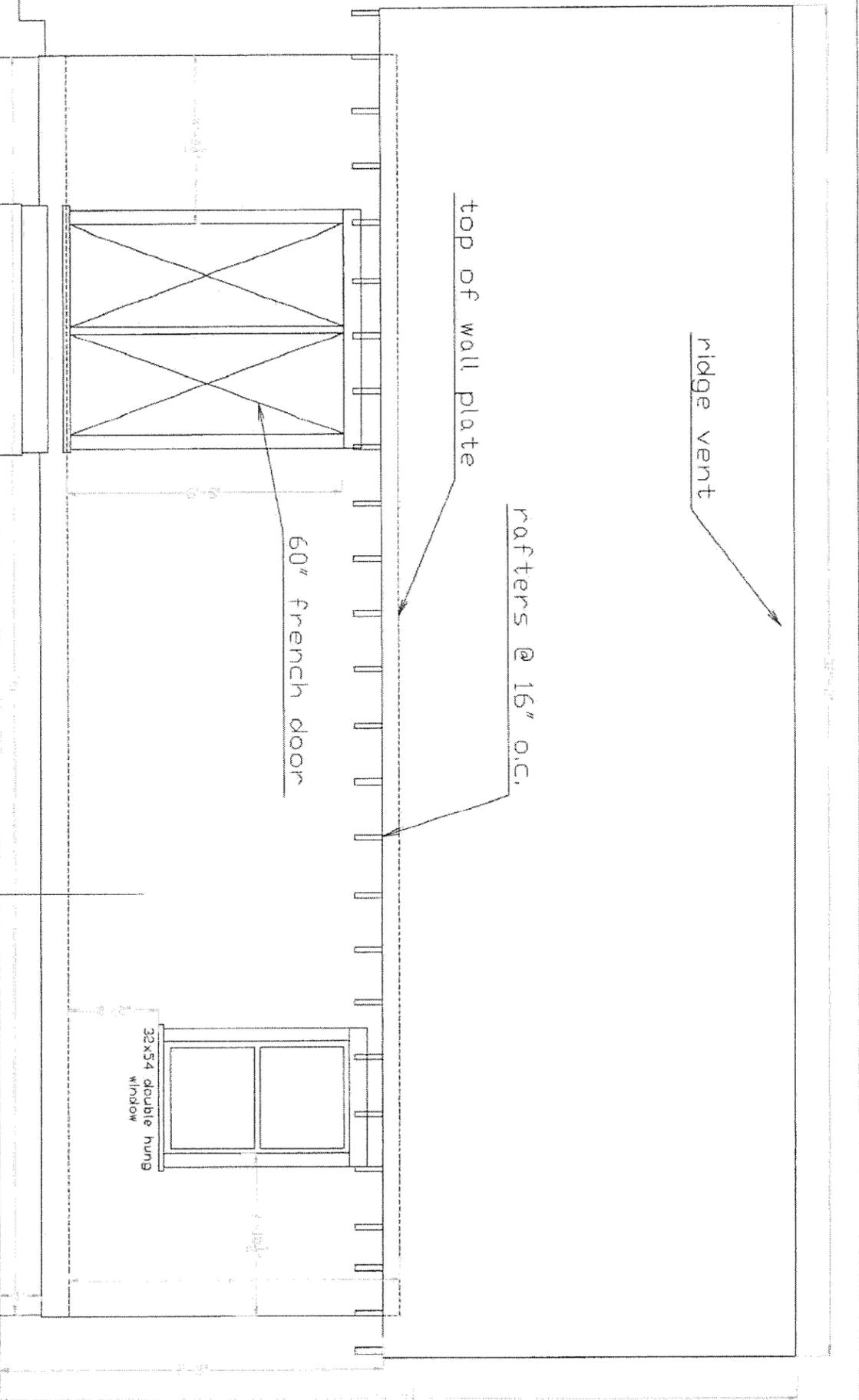
A201

minuto music studio  
169 bluff ave.  
gable elevations

permit set  
apr120, 2021



A201



ridge vent

top of wall plate

rafters @ 16" o.c.

60" french door

32x54 double hung window

location of loft elevation

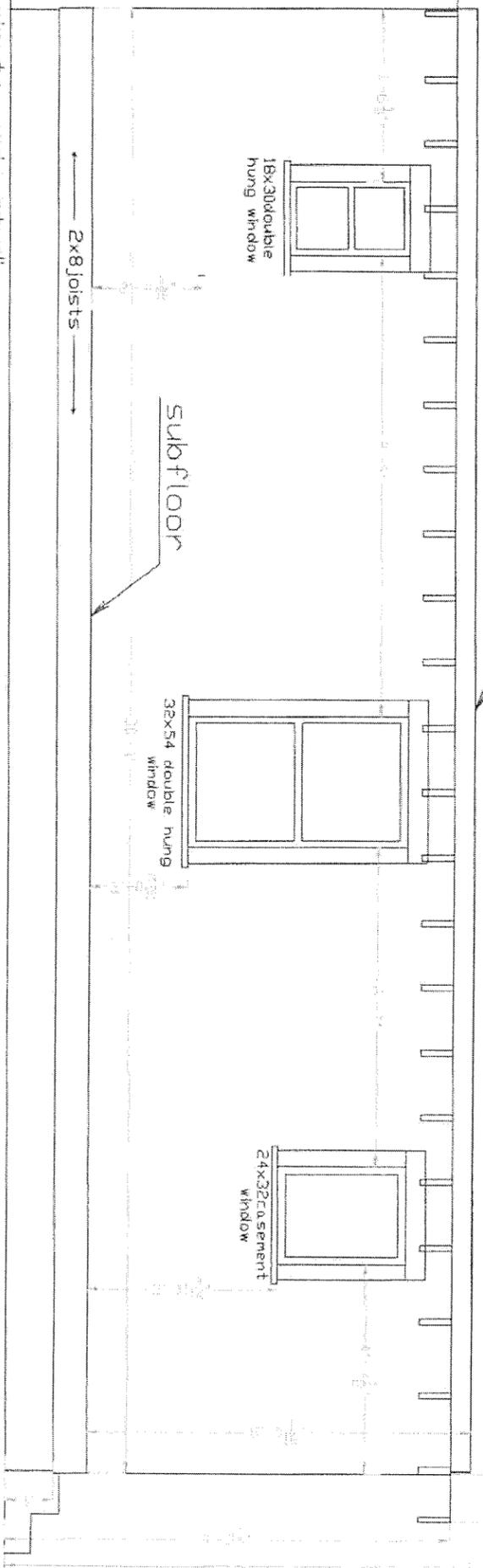
minuto music studio  
169 bluff ave.  
east elevation  
permit set  
april 20 2021

A 202

ridge vent

architectural style asphalt shingle

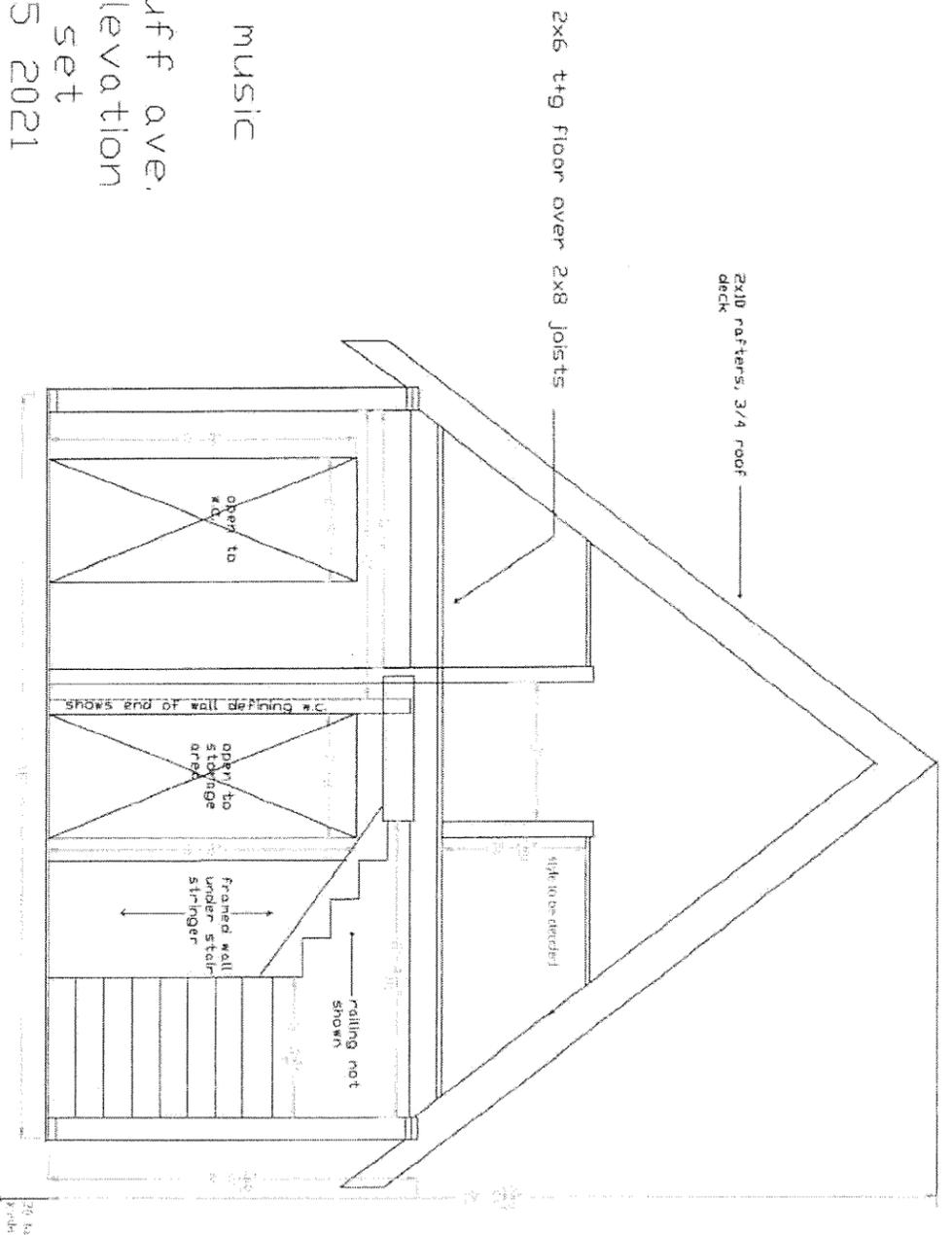
top of wall framing



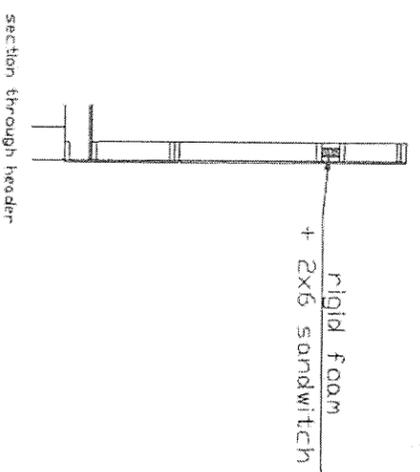
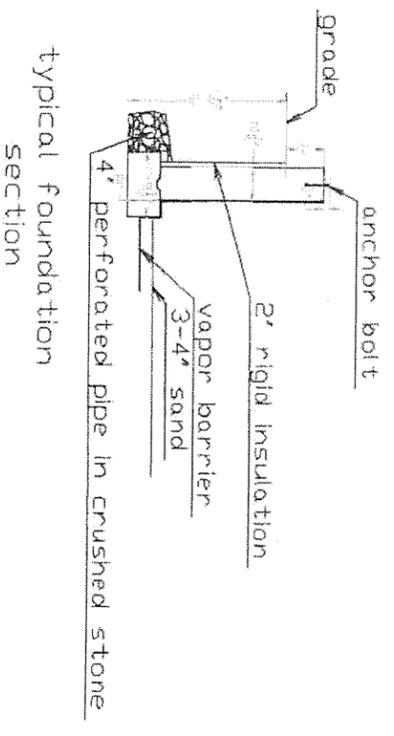
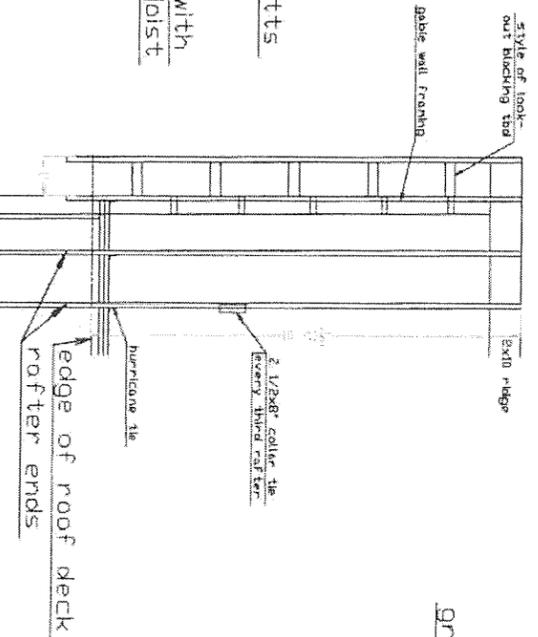
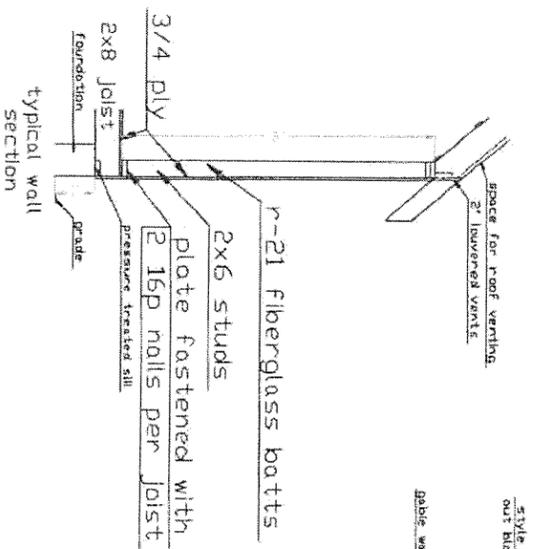
minuto music studio  
169 buff ave.  
west elevation  
permit set

A203

minuto music  
studio  
169 bluff ave.  
loft elevation  
permit set  
april 15 2021

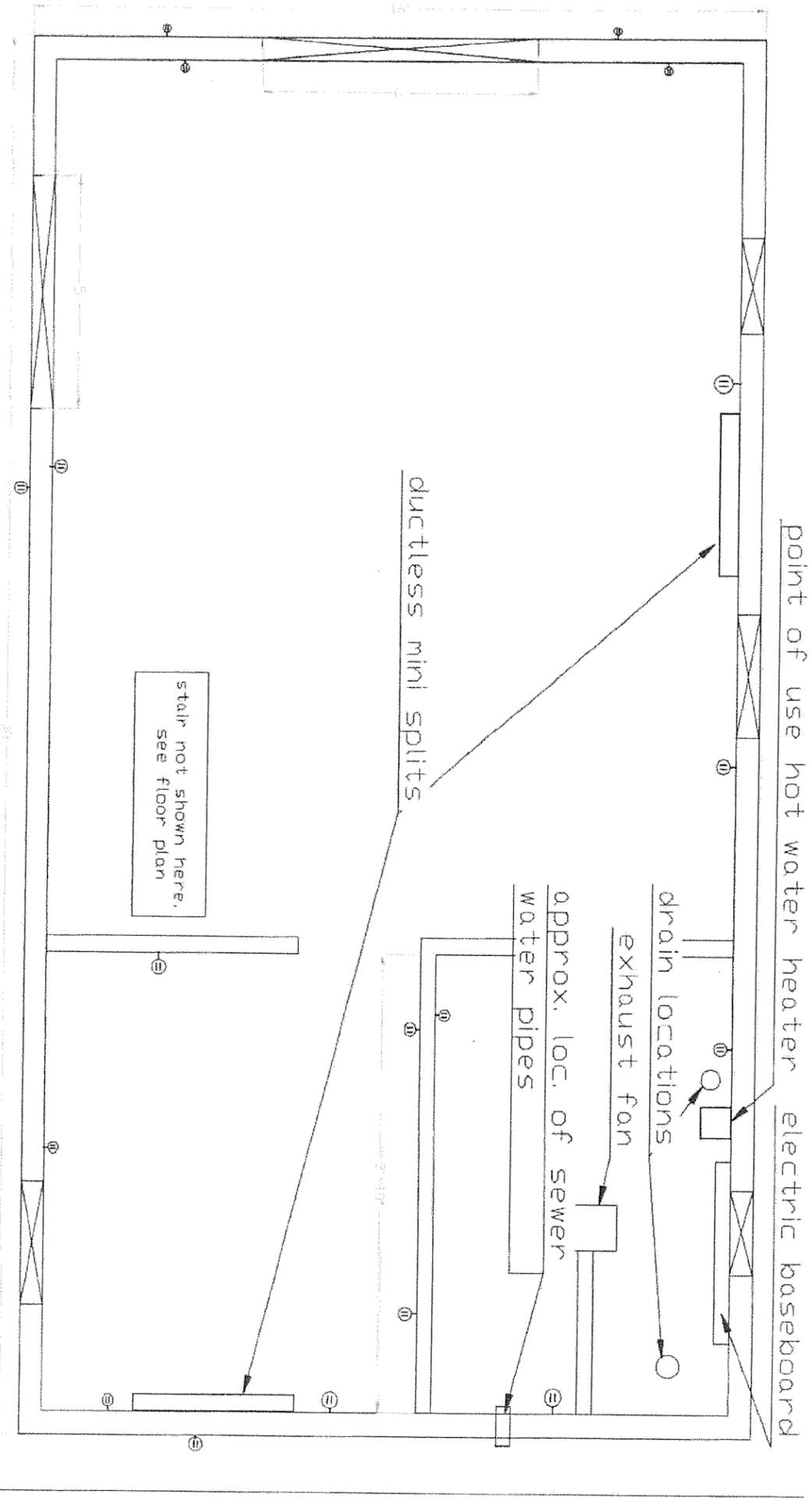


A301



minuto music  
studio  
169 bluff ave.

sections  
permit set  
april 20  
2021



point of use hot water heater electric baseboard

ductless mini splits

drain locations

exhaust fan

approx. loc. of sewer water pipes

stair not shown here, see floor plan

Ⓜ = electrical outlet

minuto music studio

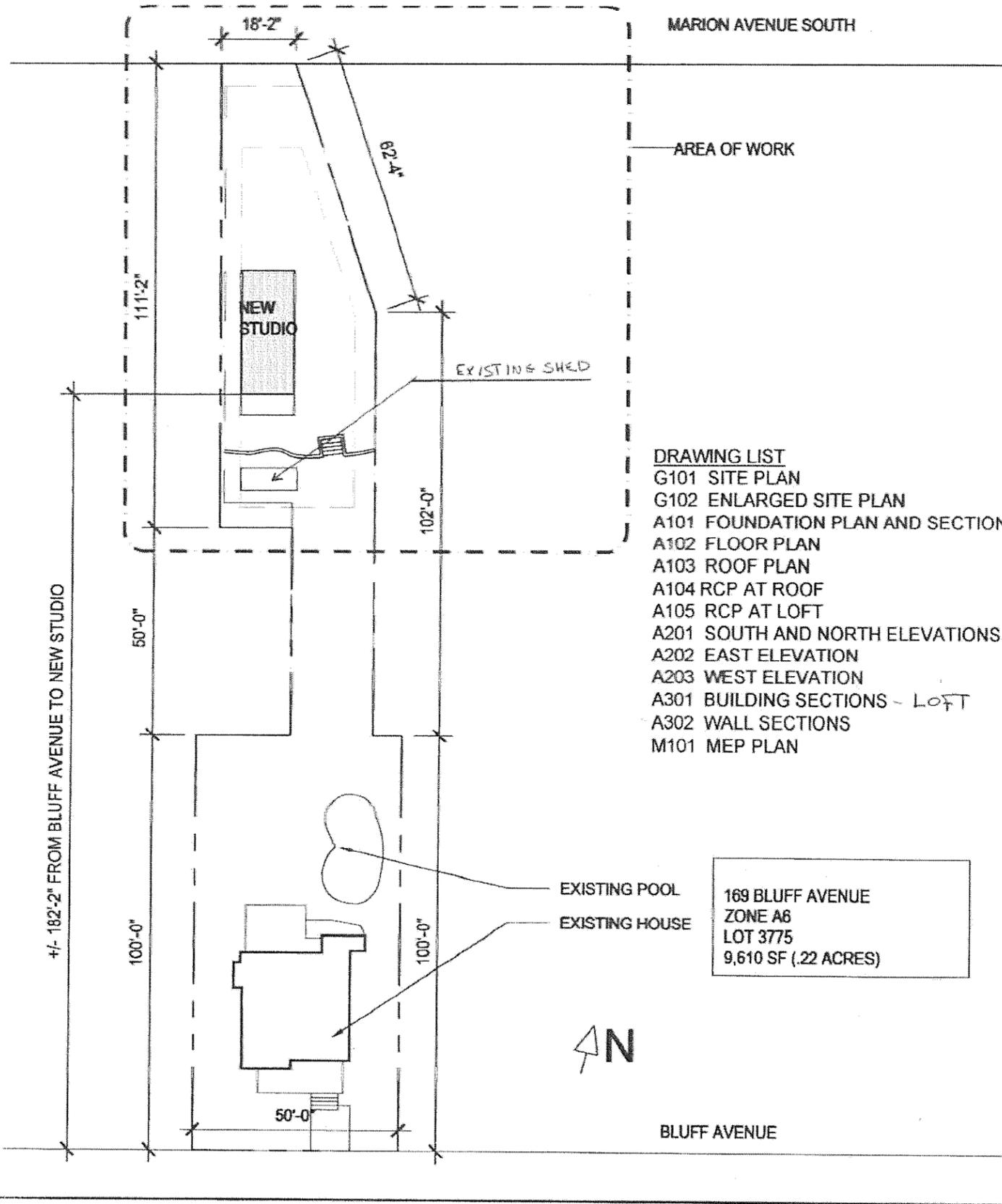
169 bluff ave.

mep

permit set

april 20 2021

M101



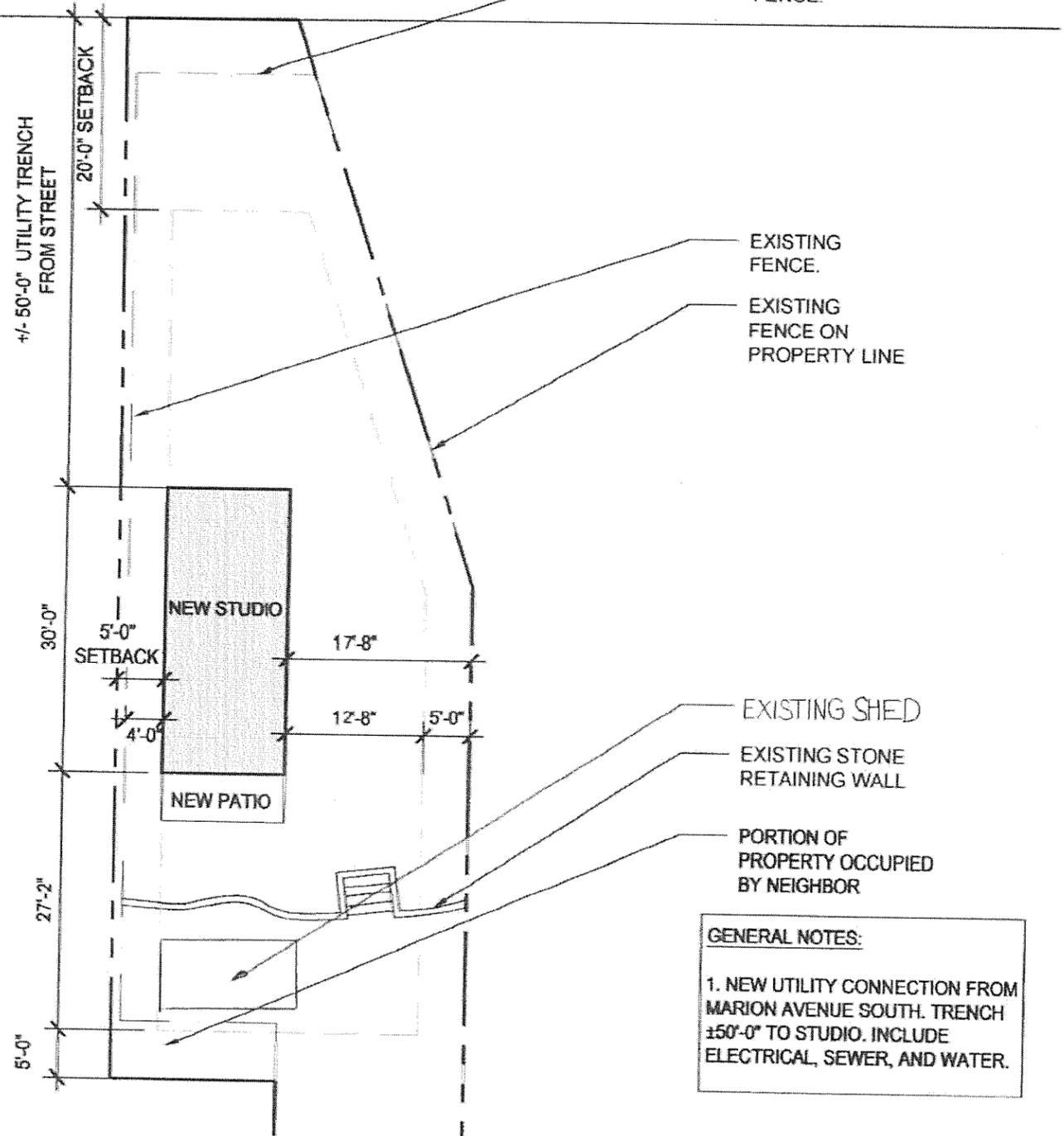
- DRAWING LIST**
- G101 SITE PLAN
  - G102 ENLARGED SITE PLAN
  - A101 FOUNDATION PLAN AND SECTION
  - A102 FLOOR PLAN
  - A103 ROOF PLAN
  - A104 RCP AT ROOF
  - A105 RCP AT LOFT
  - A201 SOUTH AND NORTH ELEVATIONS
  - A202 EAST ELEVATION
  - A203 WEST ELEVATION
  - A301 BUILDING SECTIONS - LOFT
  - A302 WALL SECTIONS
  - M101 MEP PLAN

169 BLUFF AVENUE  
 ZONE A6  
 LOT 3775  
 9,610 SF (.22 ACRES)

G101 SITE PLAN

MARION AVENUE SOUTH

EXISTING  
TEMPORARY  
FENCE.



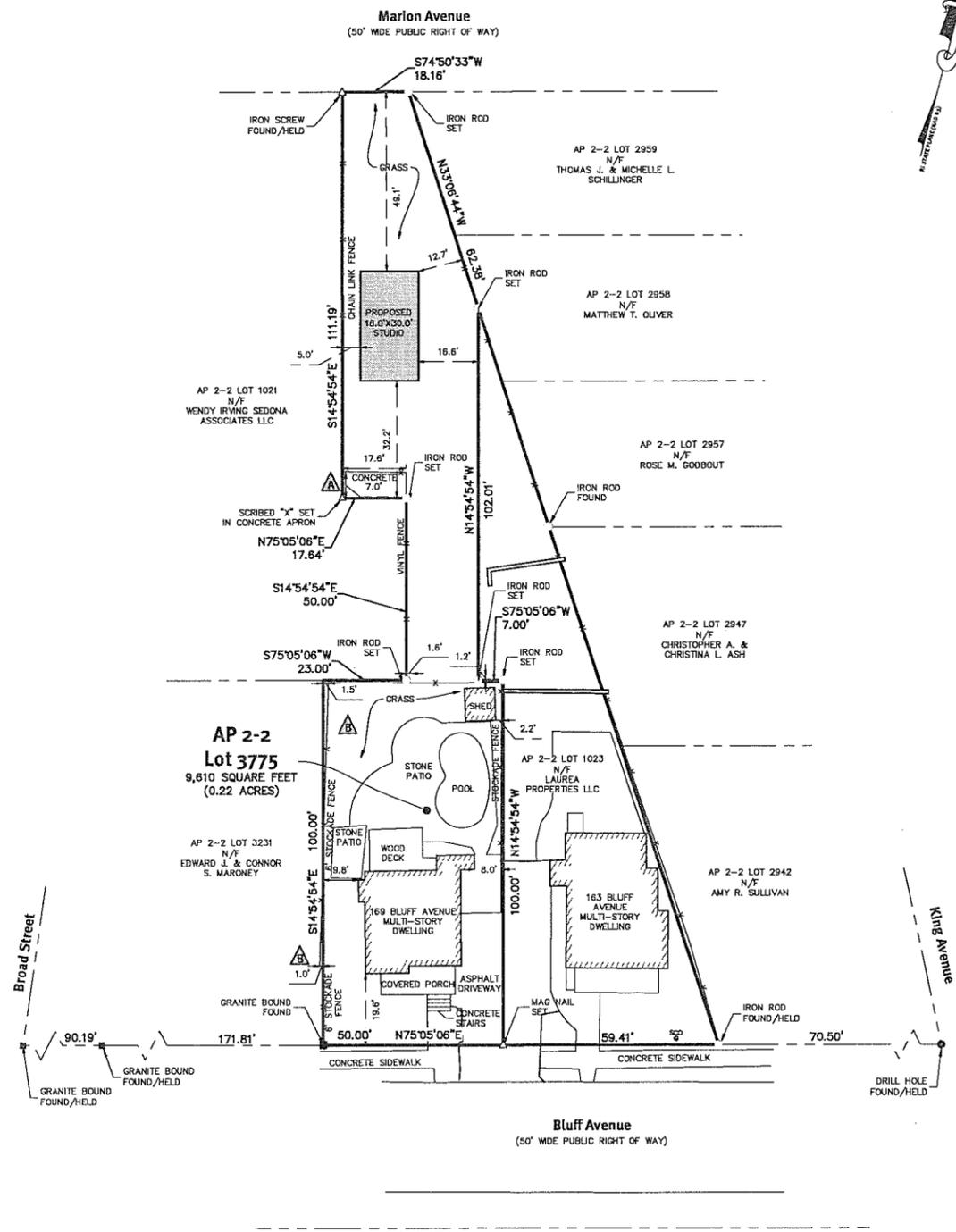
EXISTING  
FENCE.  
EXISTING  
FENCE ON  
PROPERTY LINE

EXISTING SHED  
EXISTING STONE  
RETAINING WALL  
PORTION OF  
PROPERTY OCCUPIED  
BY NEIGHBOR

**GENERAL NOTES:**  
1. NEW UTILITY CONNECTION FROM  
MARION AVENUE SOUTH. TRENCH  
±50'-0" TO STUDIO. INCLUDE  
ELECTRICAL, SEWER, AND WATER.

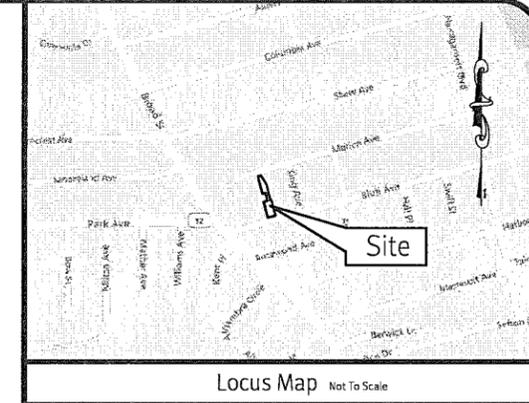
G102 ENLARGED SITE PLAN

z:\demain\projects\1750-001-bluff\_avenue\183\outcad\drawings\1750-001-ppin.dwg (Printed: 6/9/2021)



**Legend**  
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	[Hatched Box]	▲/△	NAIL FOUND/SET
AP	[Hatched Box]	●/◎	DRILL HOLE FOUND/SET
N/F	[Hatched Box]	⊙/⊚	IRON ROD/PIPE FOUND/SET
(D)	[Hatched Box]	⊠/⊡	BOUND FOUND/SET
(M)	[Hatched Box]	⊙	SIGN
(CA)	[Hatched Box]	⊙	BOLLARD
HC	[Hatched Box]	⊙	SOIL EVALUATION
	[Hatched Box]	⊙	CATCH BASIN
	[Hatched Box]	⊙	DOUBLE CATCH BASIN
	[Hatched Box]	⊙	DRAINAGE MANHOLE
	[Hatched Box]	⊙	FLARED END SECTION
	[Hatched Box]	⊙	GUY POLE
	[Hatched Box]	⊙	EMH
	[Hatched Box]	⊙	ELECTRIC MANHOLE/HANDHOLE
	[Hatched Box]	⊙	UTILITY/POWER POLE
	[Hatched Box]	⊙	LIGHTPOST
	[Hatched Box]	⊙	SEWER/SEPTIC MANHOLE
	[Hatched Box]	⊙	SEWER VALVE
	[Hatched Box]	⊙	CLEANOUT
	[Hatched Box]	⊙	HYDRANT
	[Hatched Box]	⊙	IRRIGATION VALVE
	[Hatched Box]	⊙	WATER VALVE
	[Hatched Box]	⊙	WELL
	[Hatched Box]	⊙	MONITORING WELL
	[Hatched Box]	⊙	UNKNOWN MANHOLE
	[Hatched Box]	⊙	GAS VALVE
	[Hatched Box]	⊙	WETLAND FLAG
	[Hatched Box]	⊙	BENCH MARK
	[Hatched Box]	⊙	SHRUB
	[Hatched Box]	⊙	TREE



- General Notes:**
- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 2-2, LOT 3775 IN THE CITY OF CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND.
  - THE OWNER OF LOT 3775 PER DEED BOOK 3672, PAGE 45 IS JENNIFER A. MINUTO.
  - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0319I, DATED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
  - THE SUBJECT LOT AND ALL ADJACENT LOTS ARE ZONED A6 BASED ON CITY OF CRANSTON ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
  - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON JULY 3 AND NOVEMBER 13, 2019. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

- Plan References:**
- ADMINISTRATIVE SUBDIVISION REPLAT OF "PLAT OF LAND MADE BY ORDER OF CHARLES K. SETCHEL BY J.A. LATHAM, MAY 1912" PLAT CARD 196 CITY OF CRANSTON, RECORD LOTS 1 & 2, A.P. 2/2 LOTS 2942 & 2947 CRANSTON, RHODE ISLAND. PREPARED FOR: PETER ANNARUMMO, SCALE 1"=20". DATED DECEMBER 22, 1998. PLAN BY OCEAN STATE PLANNERS, INC. RECORDED ON PLAT CARD 630.
  - PLAT OF LAND MADE BY ORDER OF CHARLES K. SETCHEL BY J.A. LATHAM, MAY, 1912. SCALE 30' PER INCH. RECORDED IN BOOK 8 PAGE 4 AND PLAT CARD NO. 196.
  - REPLAT OF A "MAP OF LAND BELONGING TO JOHN C. GARDNER ET AL. BY J.A. LATHAM, OCT., 1900". BY J.A. LATHAM, SEPT., 1902. RECORDED IN PLAT BOOK 6 AT PAGE 43 AND PLAT CARD 119.
  - ADMINISTRATIVE SUBDIVISION - RECORD PLAN, REPLAT OF "MAP OF LAND BELONGING TO JOHN C. GARDNER ET AL. BY J.A. LATHAM, OCT., 1900", CRANSTON, RHODE ISLAND, SCALE 1"=20", DATED OCTOBER 10, 2019, PLAN BY DIPRETE ENGINEERING.

**Zoning Notes:**

- THE PARCEL IS ZONED A-6 PER THE ASSESSOR'S ONLINE DATABASE.
- THE ZONING ORDINANCE CHAPTER 17.20.120 AND 17.60.010 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:

MINIMUM LOT AREA	6,000 SQUARE FEET
MINIMUM FRONTAGE AND LOT WIDTH	60 FEET
MINIMUM FRONT YARD	25 FEET
MINIMUM SIDE YARD (MAIN)	8 FEET
MINIMUM SIDE YARD (ACCESSORY)	5 FEET
MINIMUM REAR YARD (MAIN)	20 FEET
MINIMUM REAR YARD (ACCESSORY)	5 FEET
MAXIMUM LOT COVERAGE	30 %
MAXIMUM HEIGHT	35 FEET

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE CITY OF CRANSTON ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.

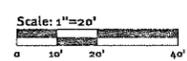
- List of Possible Encroachments:**
- CONCRETE PAD AND FENCE OVER PROPERTY LINE
  - STOCKADE FENCE OVER PROPERTY LINE

**This Plan Should Be Indexed  
By The Following Streets:**

- Bluff Avenue
- Marion Avenue



**Certification:**  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:  
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION) MEASUREMENT SPECIFICATION: CLASS I  
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE LOCATION OF A PROPOSED STUDIO.



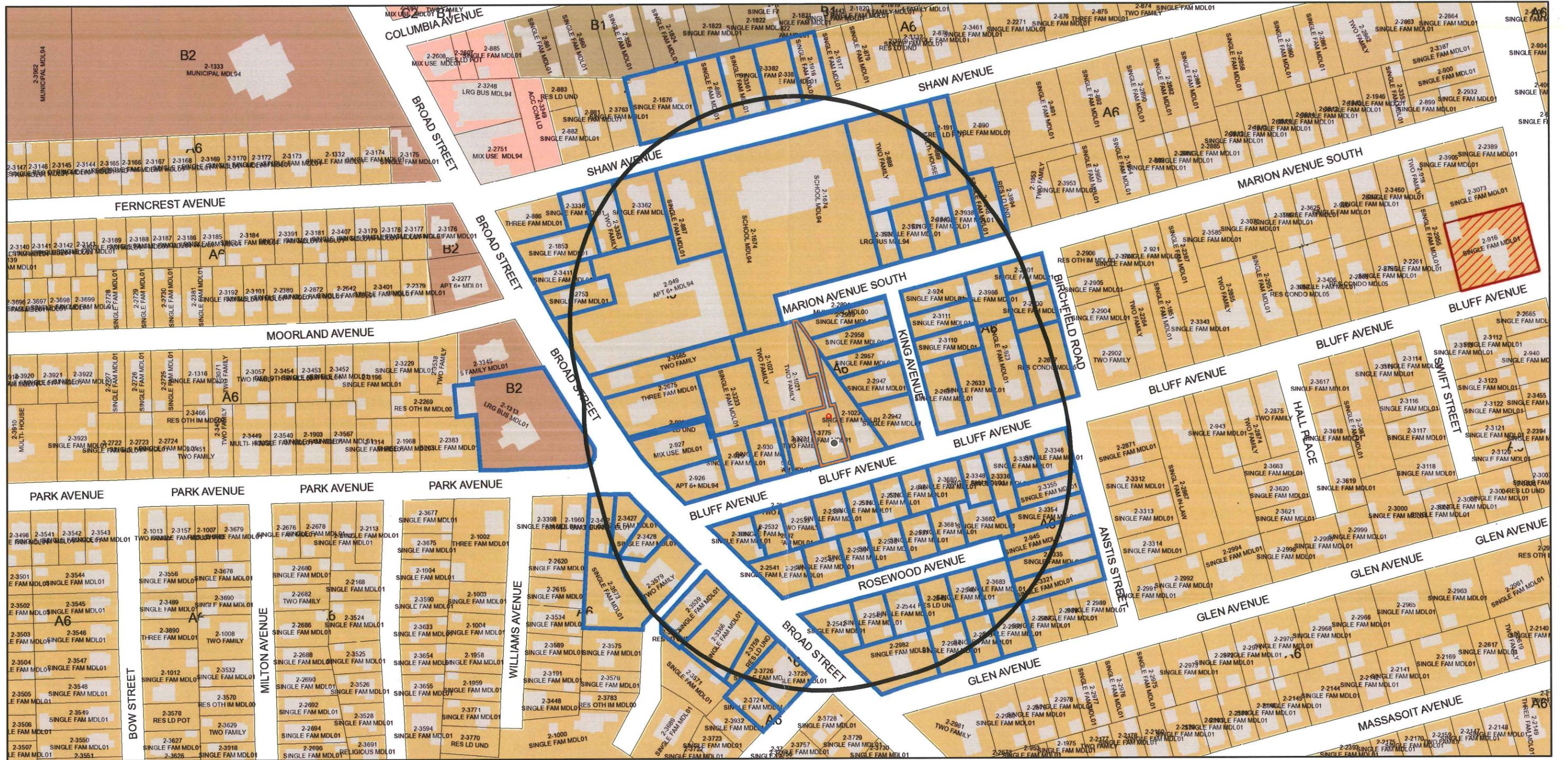
**Diprete Engineering**  
Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-943-6006 www.diprete-eng.com  
Boston • Providence • Newport

REV	DATE	BY	DESCRIPTION

Drawn By: A.L.E.

**Accessory Building Plot Plan**  
169 Bluff Avenue  
Assessor's Plat 2-2, Lot 3775  
Cranston, Rhode Island  
Client: Jennifer Minuto  
169 Bluff Avenue, Cranston, Rhode Island 02905  
SHEET 1 OF 1

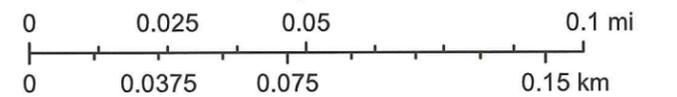
# 169 Bluff Ave 400' Radius Plat 2 Lot 3775



10/22/2020, 9:32:52 AM

1:2,081

- |  |                   |               |                           |  |     |  |    |  |       |
|--|-------------------|---------------|---------------------------|--|-----|--|----|--|-------|
|  | Parcel Outlines   |               | Buildings                 |  | A20 |  | C1 |  | M2    |
|  | Plat Boundaries   |               | Zoning Dimensions         |  | A12 |  | C2 |  | EI    |
|  | Parcel ID Labels  |               | Historic Overlay District |  | A8  |  | C3 |  | MPD   |
|  | Streets Names     | <b>Zoning</b> |                           |  | A6  |  | C4 |  | S1    |
|  | Cranston Boundary |               | none                      |  | B1  |  | C5 |  | Other |
|  | Parcels           |               | A80                       |  | B2  |  | M1 |  |       |



City of Cranston  
City of Providence, Department of Planning and Development