

**City of Cranston
Zoning Board of Review
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: May 8, 2021

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Jennifer A. Minuto

ADDRESS: 169 Bluff Avenue ZIP CODE: 02905

APPLICANT: Jennifer A. Minuto

ADDRESS: 169 Bluff Avenue ZIP CODE: 02905

LESSEE: _____

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: 169 Bluff Avenue, Cranston, RI 02905

2. ASSESSOR'S PLAT #: 989 BLOCK #: _____ ASSESSOR'S LOT #: 3775 WARD: 1

3. LOT FRONTAGE: 50' LOT DEPTH: 261.19' LOT AREA: 9,610 sq. ft.

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A6 30% 35'
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: n/a PROPOSED: 20'-3"

6. LOT COVERAGE, PRESENT: 12.5% PROPOSED: 17%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 14 years

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? yes

9. GIVE SIZE OF EXISTING BUILDING(S): 1667' sq. ft.

10. GIVE SIZE OF PROPOSED BUILDING(S): 480' sq. ft.

11. WHAT IS THE PRESENT USE? n/a

12. WHAT IS THE PROPOSED USE? storage, music space

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 0

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: _____

New accessory structure to serve for storage space and art studio and occasional music space. New utilities to space, WC, sewer, electrical.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? yes

16. WERE YOU REFUSED A PERMIT? no

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.


Chapter 17.60.010 - Accessory uses
Cranston, Rhode Island - Code of Ordinances

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: _____

We need storage space, art studio space, and occasional music space with water and bathroom for safety and it is impractical to utilize sewer connection from main house on Bluff Avenue. We will need to access Marion Avenue South for sewer use.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,


(OWNER SIGNATURE)

(401) 263-6171
(PHONE NUMBER)

(OWNER SIGNATURE)


(PHONE NUMBER)

(APPLICANT SIGNATURE)

(PHONE NUMBER)

(LESSEE SIGNATURE)

(PHONE NUMBER)

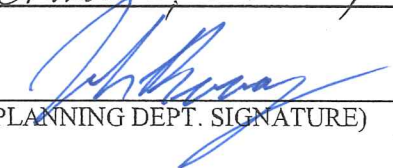

(ATTORNEY SIGNATURE)

(401) 263-6171
(PHONE NUMBER)

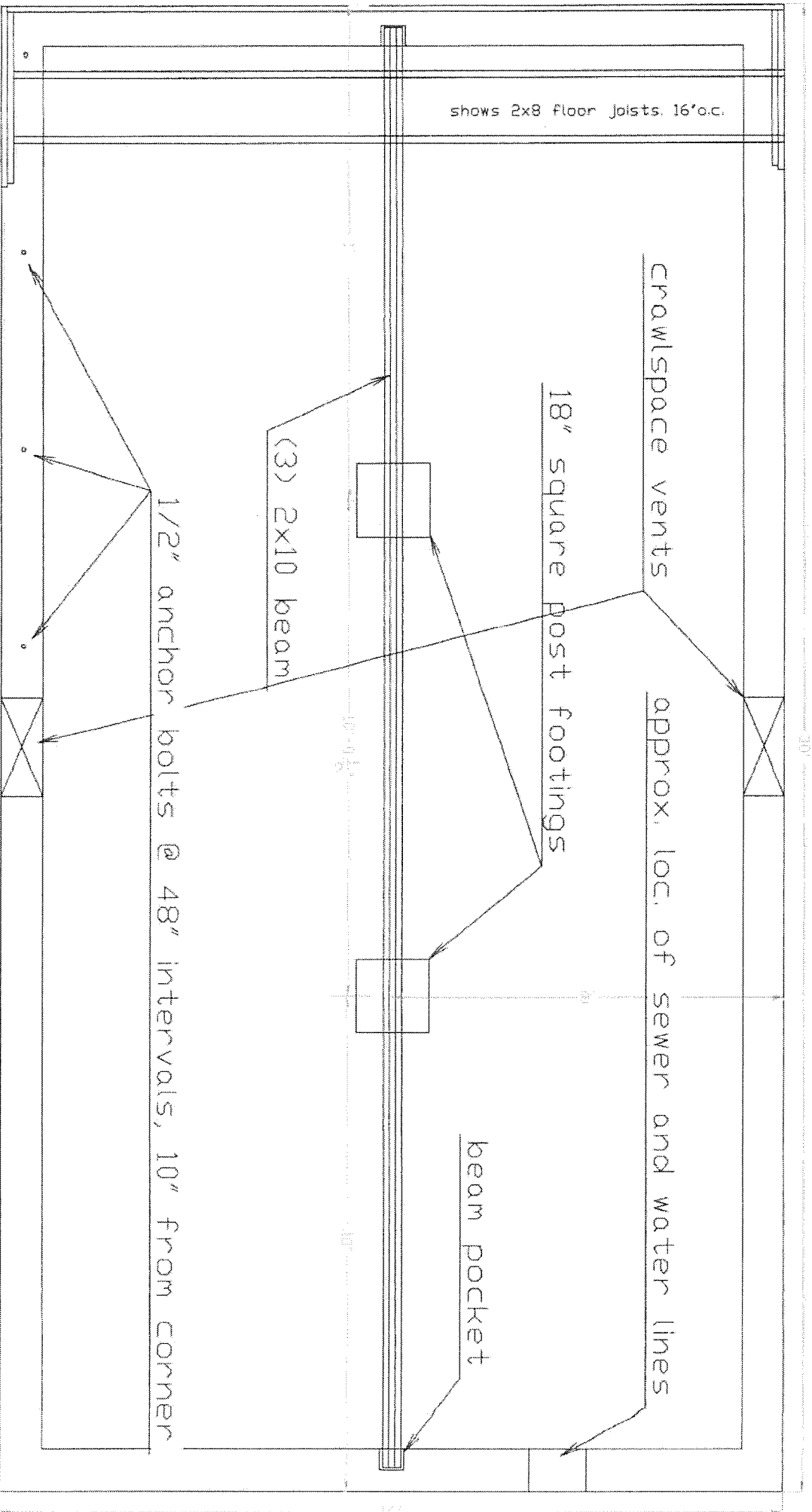
JENNIFER A. MINUTO
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 169 Bluff Avenue, Cranston, RI 02905

PRE-ZONING APPLICATION MEETING:


(PLANNING DEPT. SIGNATURE)

6-9-21
(DATE)



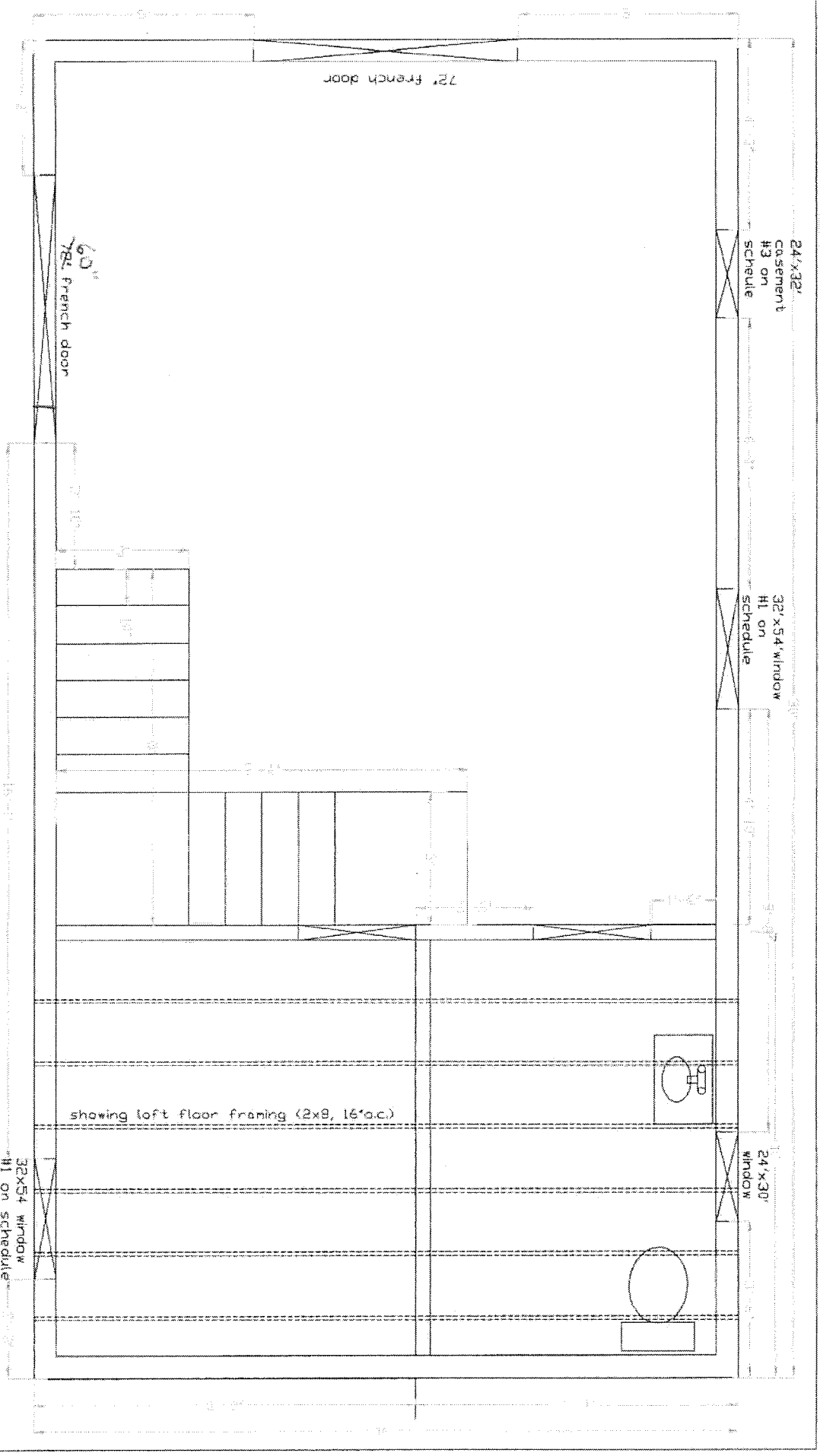
minuto music studio
169 bluff ave.
foundation
plan

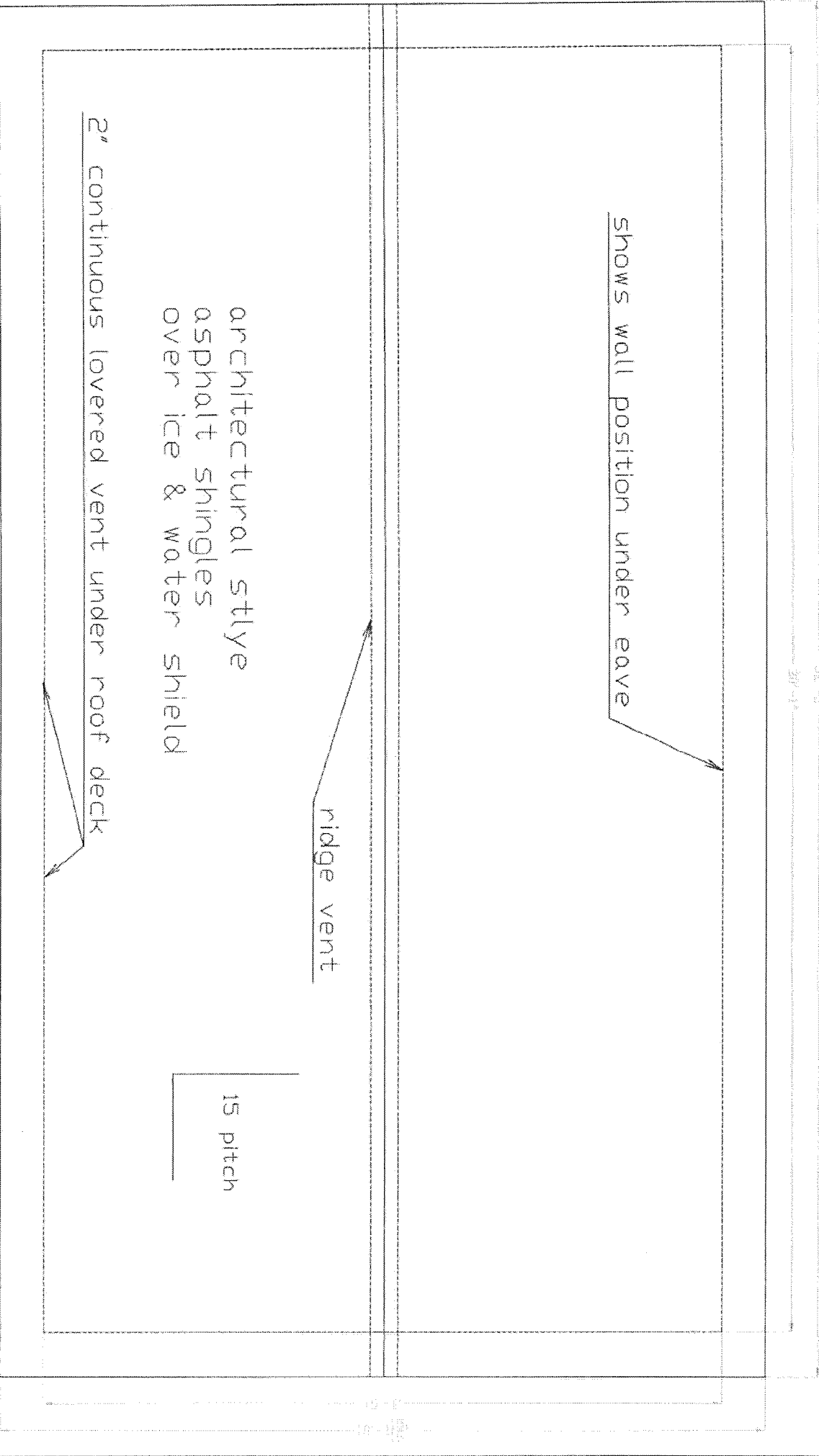
permit set
april 20 2021

A101

minuto music studio
169 bluff ave
floor plan
permit set
april 15 2021

A102

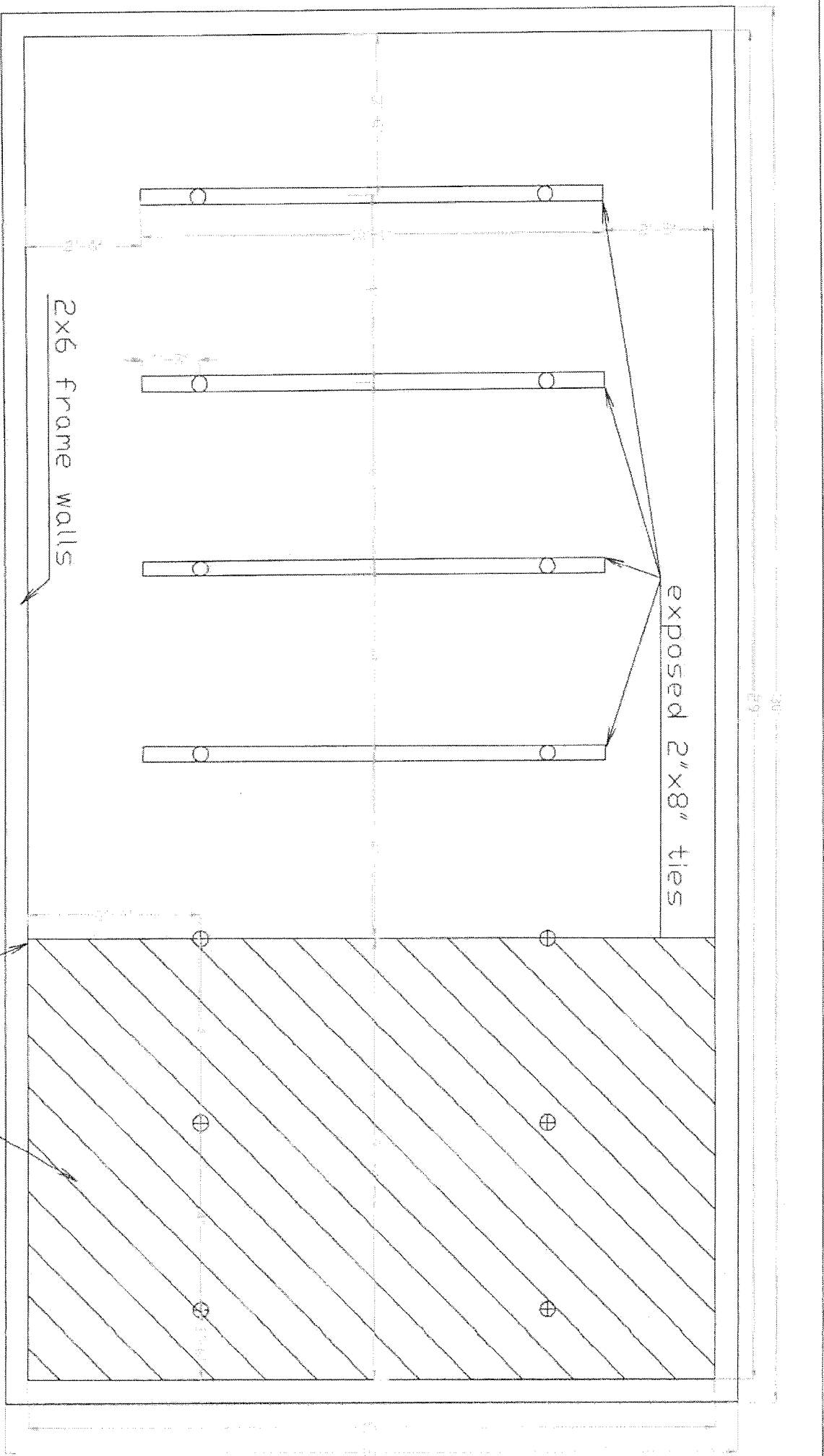




minuto music studio
169 bluffave.

roof plan
permit set
april 20 2021

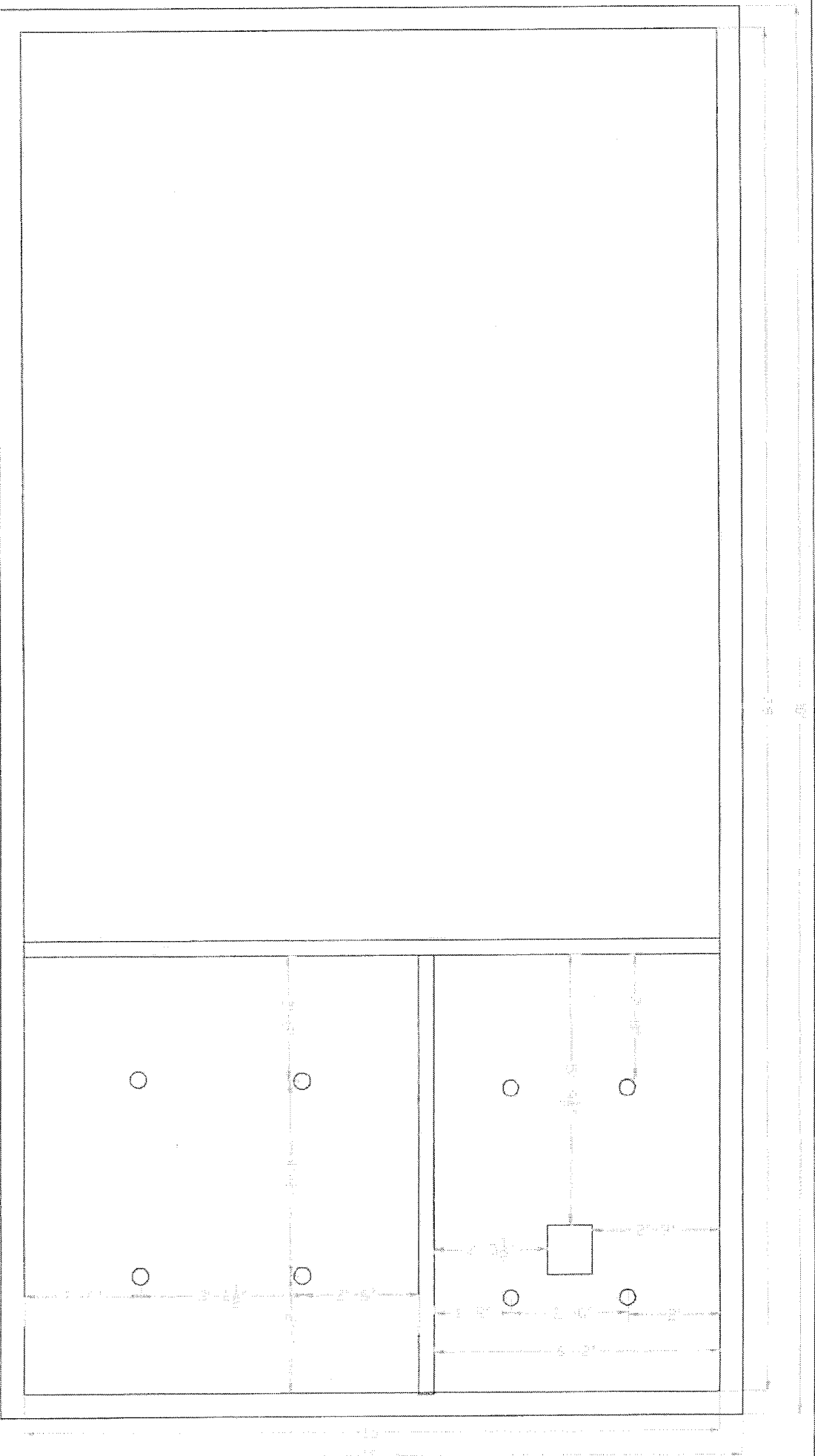
A103



minuto music studio
169 bluff ave.
reflected ceiling plan
permit set
april 20 2021

- - pendant light fixture
- ⊕ - recessed light fixture

A104



minuto music studio
169 bluff ave.

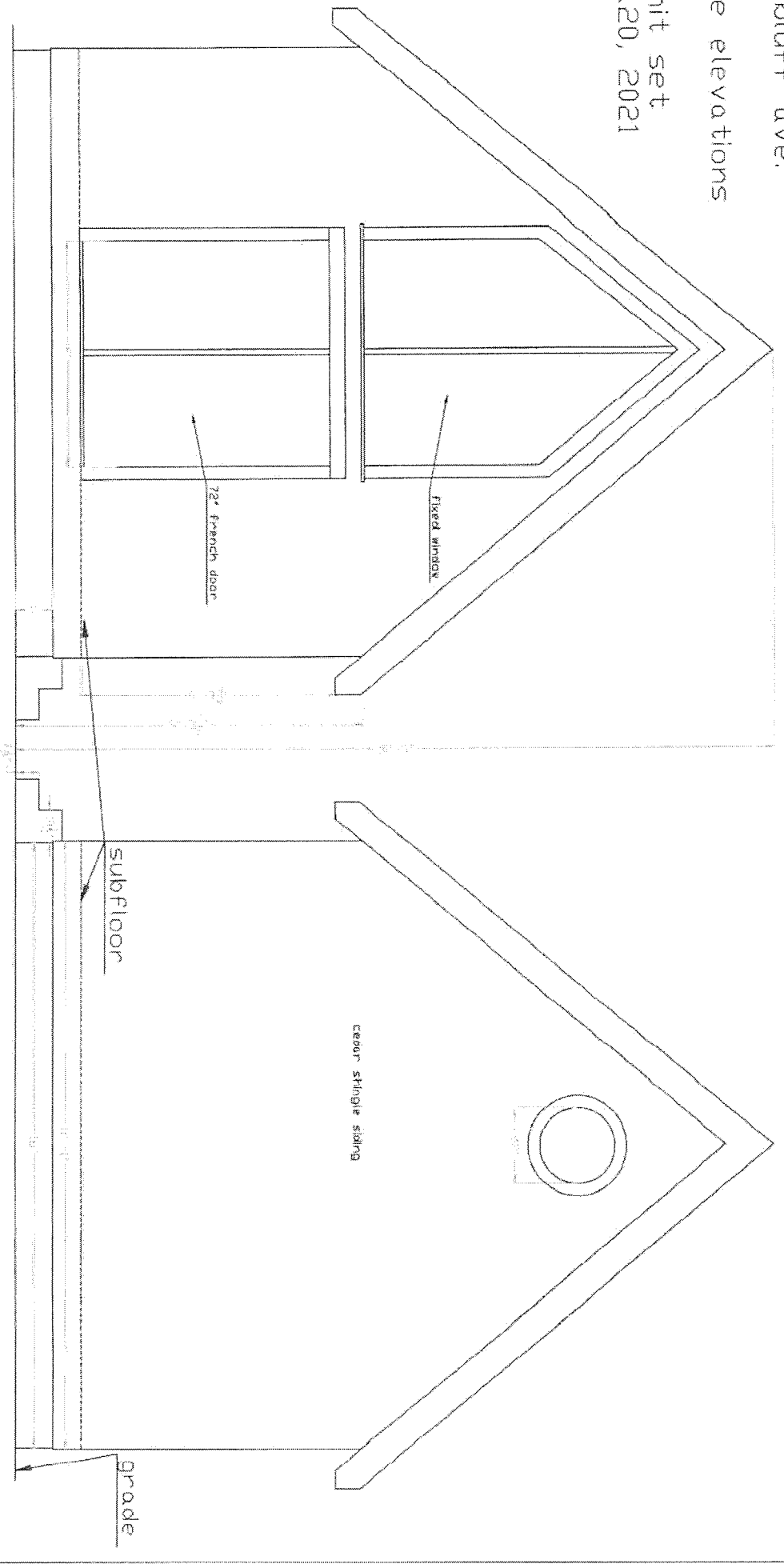
○-indicates recessed light fixture

RCP- under loft
permit set
april 20 2021

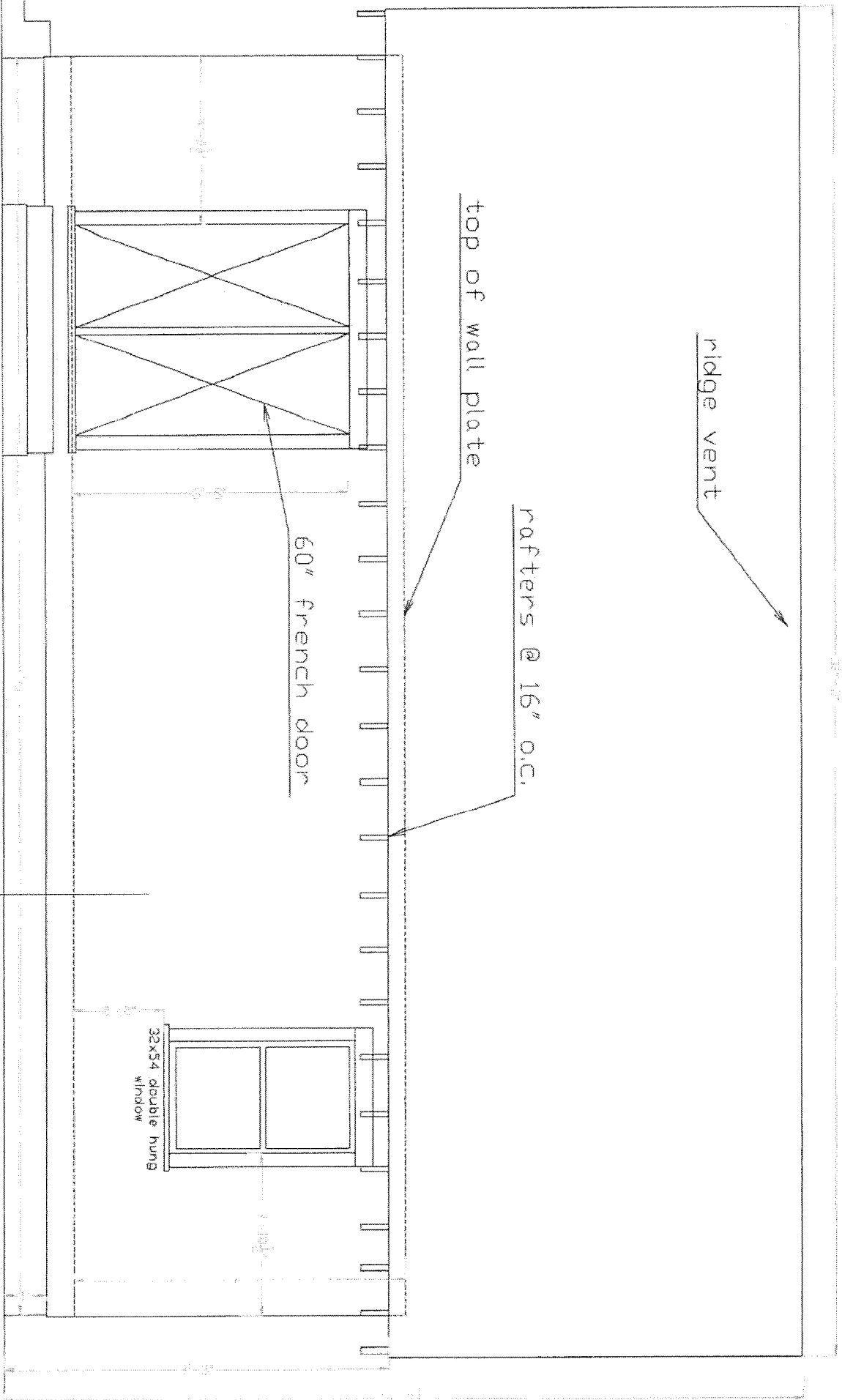
A105

A201

minuto music studio
169 bluff ave.
gable elevations
permit set
april 20, 2021



A201



minuto music studio
169 bluff ave.
east elevation
permit set
april 20 2021

A 202

ridge vent

architectural style asphalt shingle

top of wall framing

18x30double hung window

subfloor

32x54 double hung window

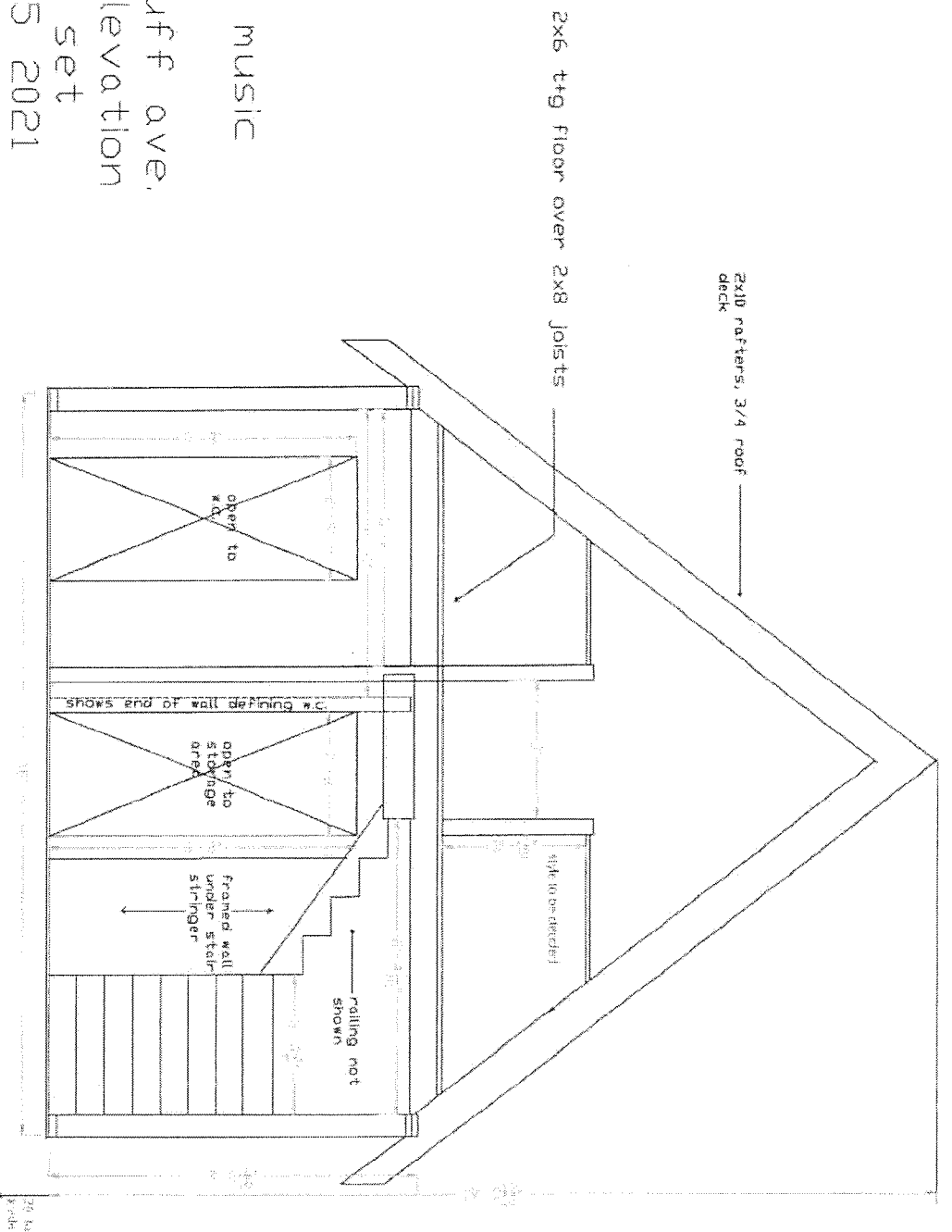
24x32casement window

2x8joists

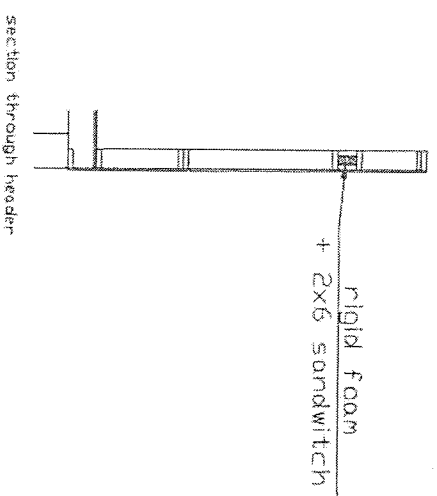
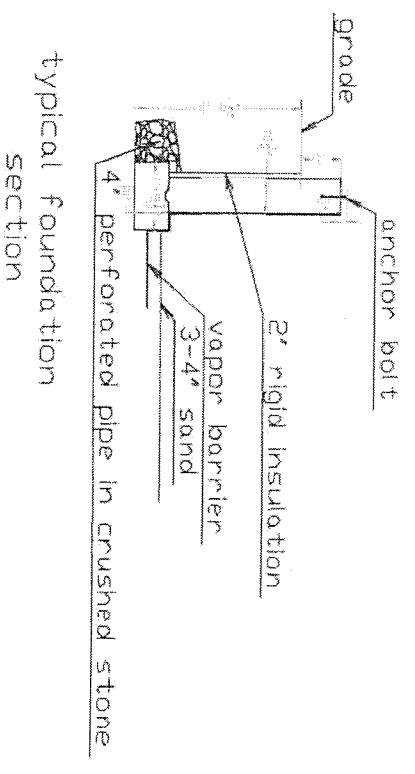
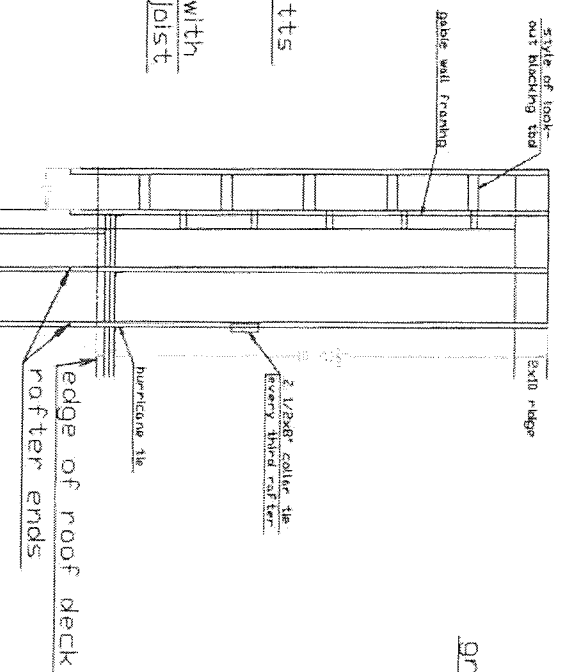
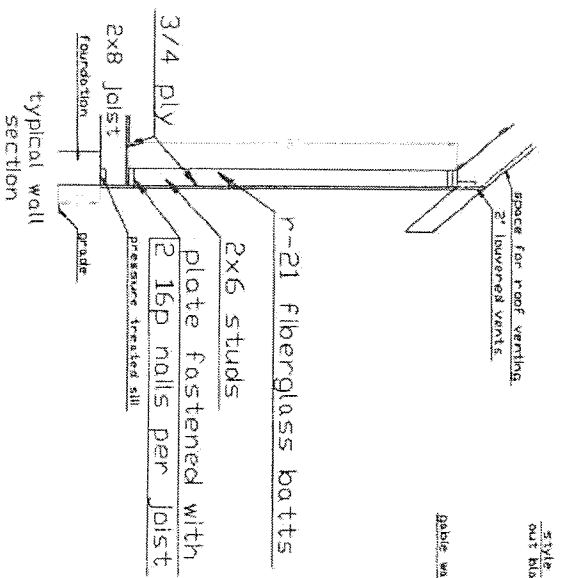
minuto music studio
169 bluff ave.
west elevation
permit set

A203

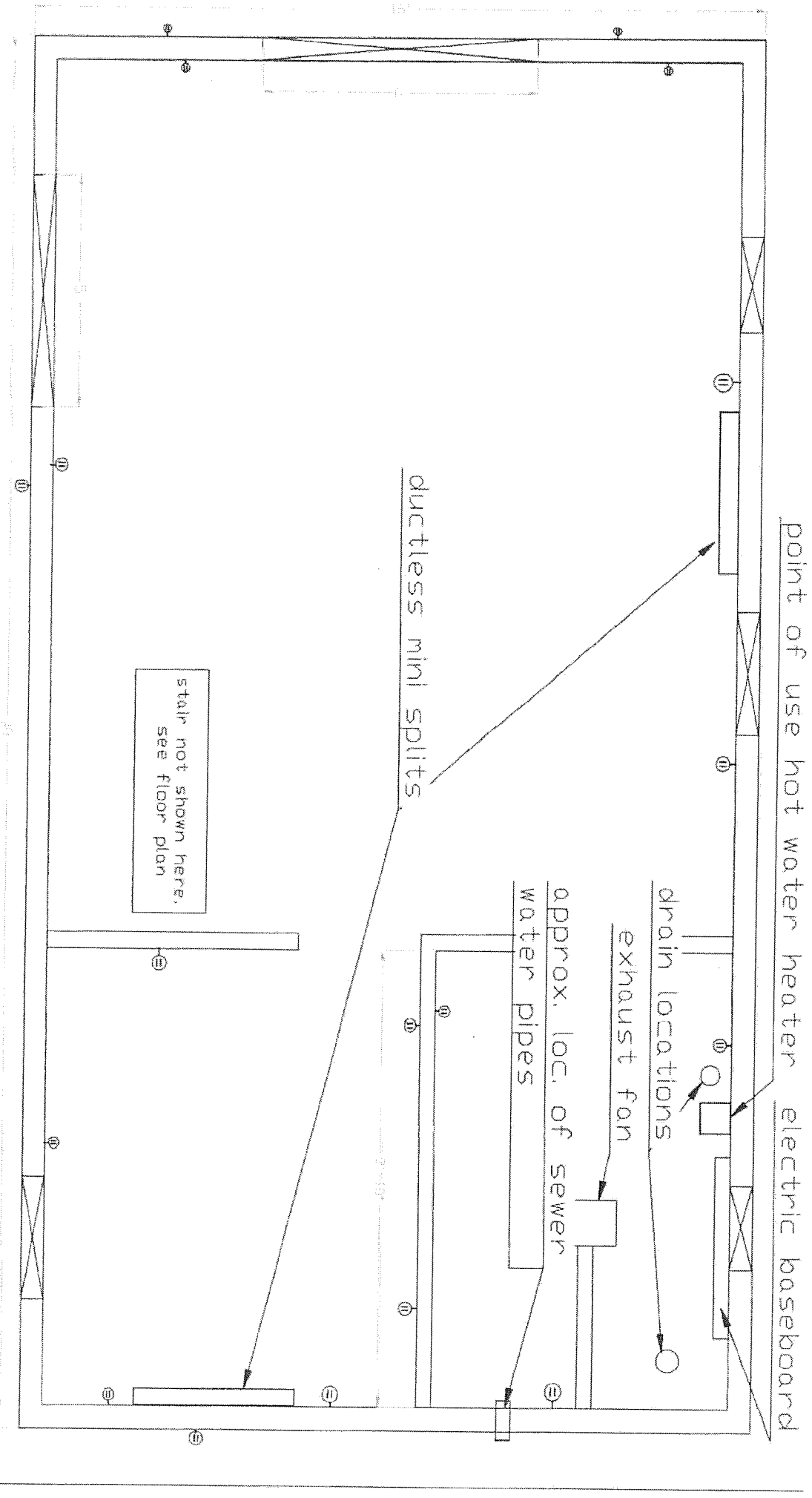
minuto music
studio
169 bluff ave.
loft elevation
permit set
april 15 2021



A301



minuto music
studio
169 bluff ave.
sections
permit set
april 20
2021

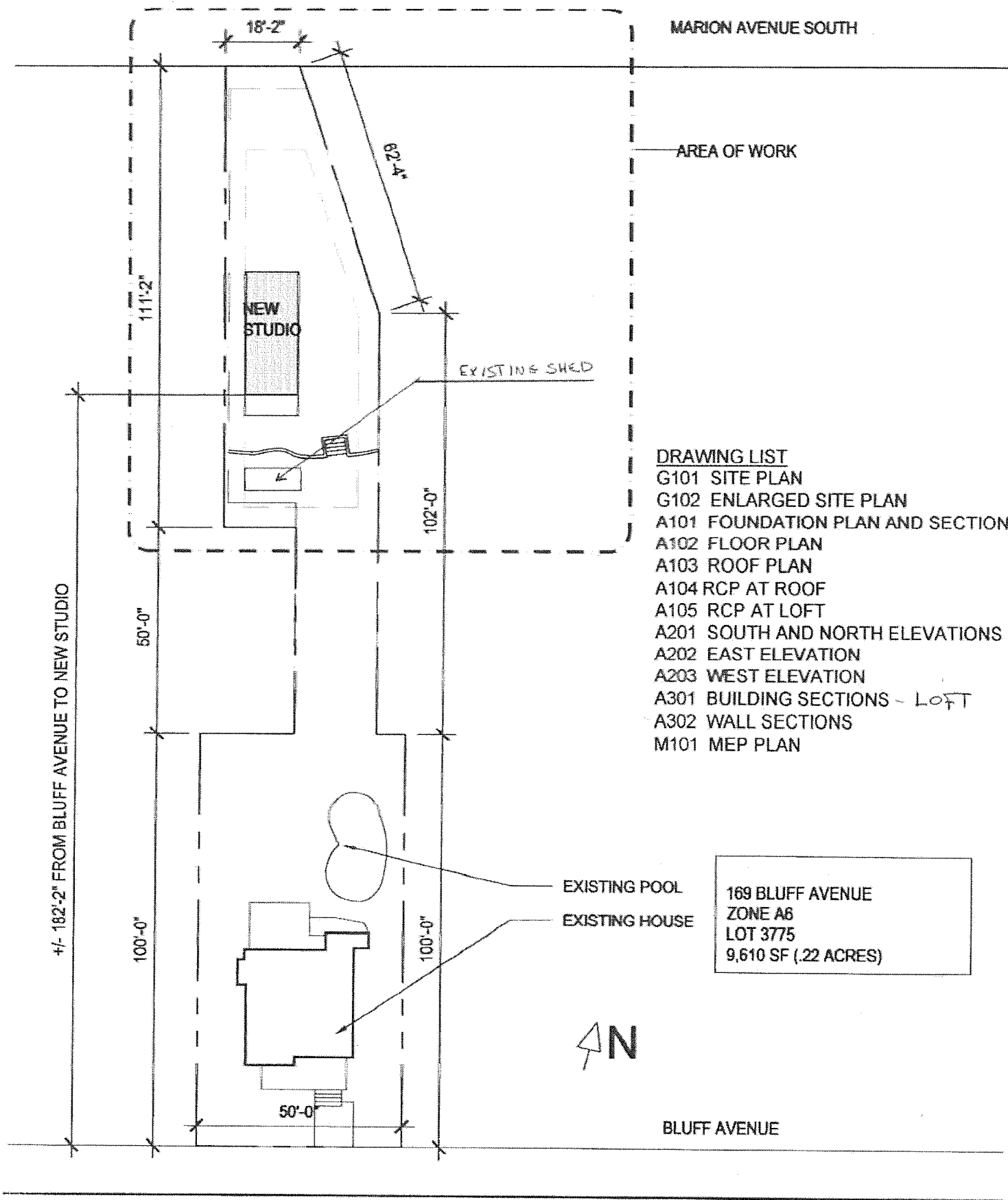


minuto music studio
169 bluff ave.
mep

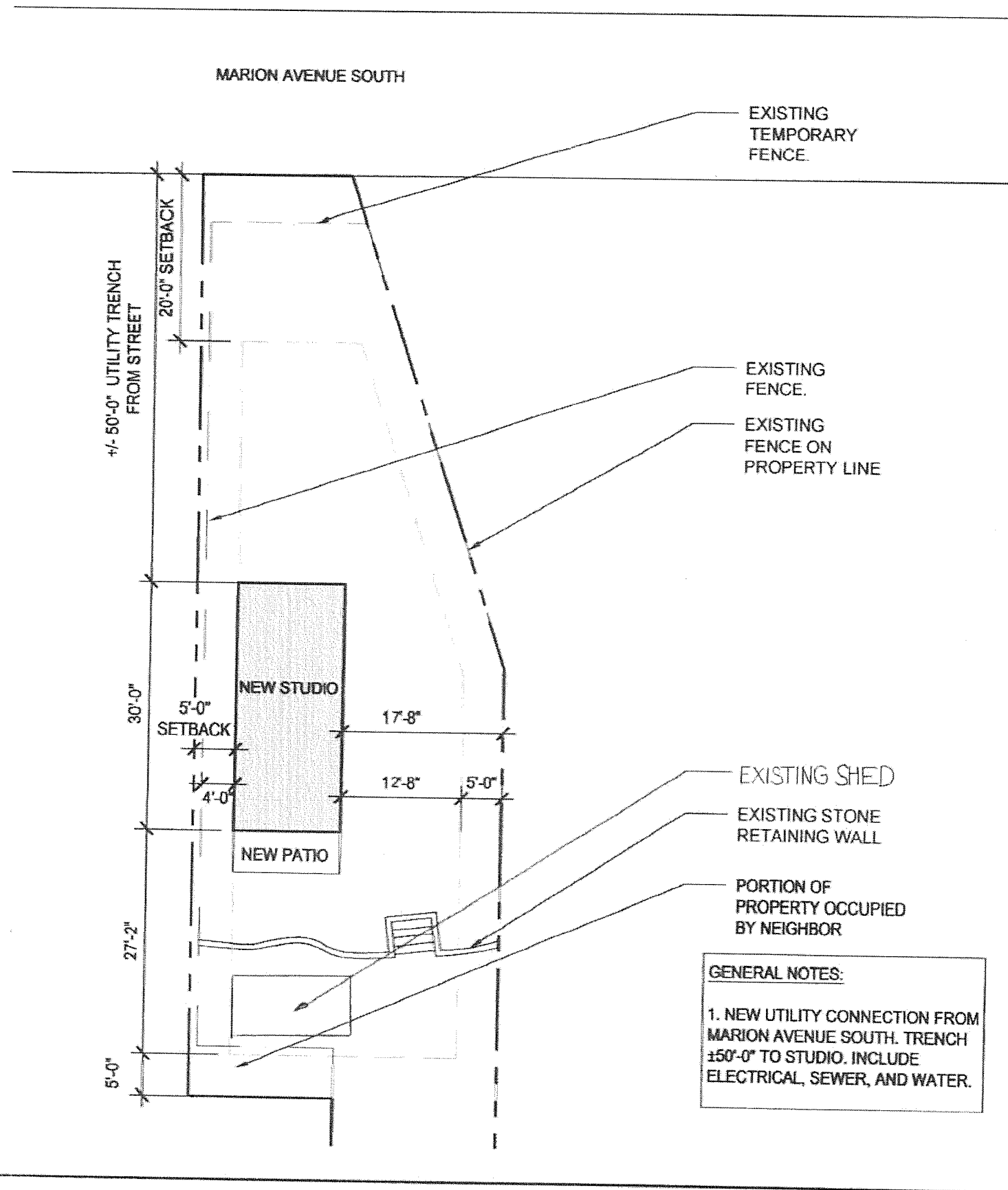
⦶ = electrical outlet

permit set
april 20 2021

M101

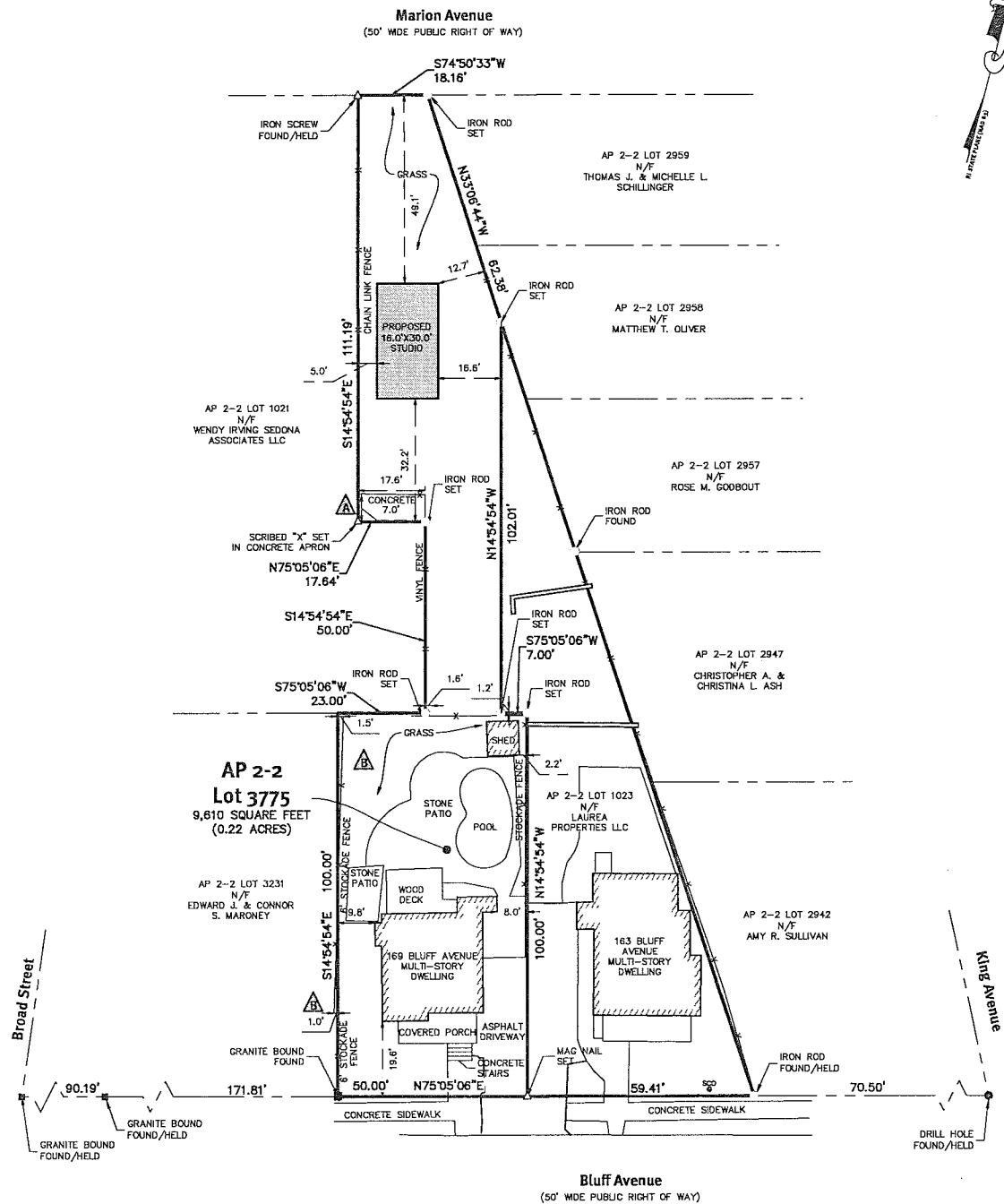


G101 SITE PLAN

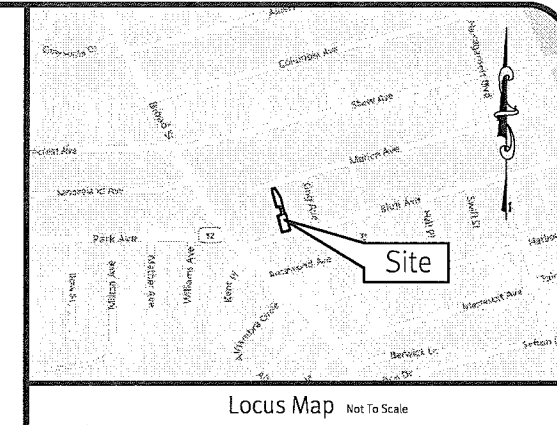


G102 ENLARGED SITE PLAN

z:\detailed\projects\1750-001 bluff avenue 163\autoexec.dwg\drawings\1750-001-ppin.dwg Plotted: 6/9/2021



Legend	
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY	
BUILDING	▲/▲ NAIL FOUND/SET
AP ASSESSOR'S PLAT	●/● DRILL HOLE FOUND/SET
N/F NOW OR FORMERLY	●/● IRON ROD/PIPE FOUND/SET
(D) DEED	■/■ BOUND FOUND/SET
(M) MEASURED	■ SIGN
(CA) CHORD ANGLE	● BOLLARD
HC HANDICAPPED	● SOIL EVALUATION
PROPERTY LINE	● CATCH BASIN
ASSESSOR'S LINE	● DOUBLE CATCH BASIN
TREELINE	● DRAINAGE MANHOLE
GUARDRAIL	● FLARED END SECTION
FENCE	● GUY POLE
RETAINING WALL	● EMH ELECTRIC MANHOLE/HANDHOLE
STONE WALL	● UP UTILITY/POWER POLE
MINOR CONTOUR LINE	☆ LIGHTPOST
MAJOR CONTOUR LINE	● SMH SEWER/SEPTIC MANHOLE
WATER LINE	● SEWER VALVE
SEWER LINE	● CLEANOUT
SEWER FORCE MAIN	● HYDRANT
GAS LINE	● IRRIGATION VALVE
ELECTRIC LINE	● WATER VALVE
OVERHEAD WIRES	● WELL
DRAINAGE LINE	● MONITORING WELL
	● UNKNOWN MANHOLE
	● GAS VALVE
	● WETLAND FLAG
	● BENCH MARK
	● SHRUB
	● TREE



General Notes:

- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 2-2, LOT 3775 IN THE CITY OF CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND.
- THE OWNER OF LOT 3775 PER DEED BOOK 3672, PAGE 45 IS JENNIFER A. MINUTO.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0319-I, DATED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE SUBJECT LOT AND ALL ADJUTING LOTS ARE ZONED AS BASED ON CITY OF CRANSTON ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON JULY 3 AND NOVEMBER 13, 2019. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

Plan References:

- ADMINISTRATIVE SUBDIVISION REPLAT OF "PLAT OF LAND MADE BY ORDER OF CHARLES K. SETCHEL BY J.A. LATHAM, MAY 1912" PLAT CARD 196 CITY OF CRANSTON, RECORD LOTS 1 & 2. A.P. 2/2 LOTS 2942 & 2947 CRANSTON, RHODE ISLAND. PREPARED FOR: PETER ANNARMUMMO. SCALE 1"=20'. DATED DECEMBER 22, 1998. PLAN BY OCEAN STATE PLANNERS, INC. RECORDED ON PLAT CARD 630.
- PLAT OF LAND MADE BY ORDER OF CHARLES K. SETCHEL BY J.A. LATHAM, MAY, 1912. SCALE 30' PER INCH. RECORDED IN BOOK 8 PAGE 4 AND PLAT CARD NO. 196.
- REPLAT OF A "MAP OF LAND BELONGING TO JOHN C. GARDNER ET AL BY J.A. LATHAM, OCT., 1900". BY J.A. LATHAM, SEPT., 1902. RECORDED IN PLAT BOOK 6 AT PAGE 43 AND PLAT CARD 119.
- ADMINISTRATIVE SUBDIVISION - RECORD PLAN, REPLAT OF "MAP OF LAND BELONGING TO JOHN C. GARDNER ET AL BY J.A. LATHAM, OCT., 1900". CRANSTON, RHODE ISLAND, SCALE 1"=20', DATED OCTOBER 10, 2019, PLAN BY DIPRETE ENGINEERING.

Zoning Notes:

- THE PARCEL IS ZONED A-6 PER THE ASSESSOR'S ONLINE DATABASE.
- THE ZONING ORDINANCE CHAPTER 17.20.120 AND 17.60.010 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:

MINIMUM LOT AREA	6,000 SQUARE FEET
MINIMUM FRONTAGE AND LOT WIDTH	60 FEET
MINIMUM FRONT YARD	25 FEET
MINIMUM SIDE YARD (MAIN)	8 FEET
MINIMUM SIDE YARD (ACCESSORY)	5 FEET
MINIMUM REAR YARD (MAIN)	20 FEET
MINIMUM REAR YARD (ACCESSORY)	5 FEET
MAXIMUM LOT COVERAGE	30 %
MAXIMUM HEIGHT	35 FEET

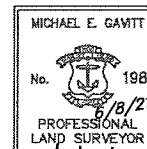
THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE CITY OF CRANSTON ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.

List of Possible Encroachments:

- ▲ CONCRETE PAD AND FENCE OVER PROPERTY LINE
- ▲ STOCKADE FENCE OVER PROPERTY LINE

This Plan Should Be Indexed
By The Following Streets:

- Bluff Avenue
- Marion Avenue



BY
MICHAEL E. GAVIT, RPLS #1981
C.O.A. NO. LS-A180

Certification:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION)	CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE LOCATION OF A PROPOSED STUDIO.

Scale: 1"=20'
0 10' 20' 40'

Accessory Building Plot Plan
169 Bluff Avenue
Assessor's Plat 2-2 Lot 3775
Cranston, Rhode Island

Client
Jennifer Minuto
169 Bluff Avenue, Cranston, Rhode Island 02905

DE Job No: 2750-001 Copyright 2021 by DiPrete Engineering Associates, Inc.

SHEET 1

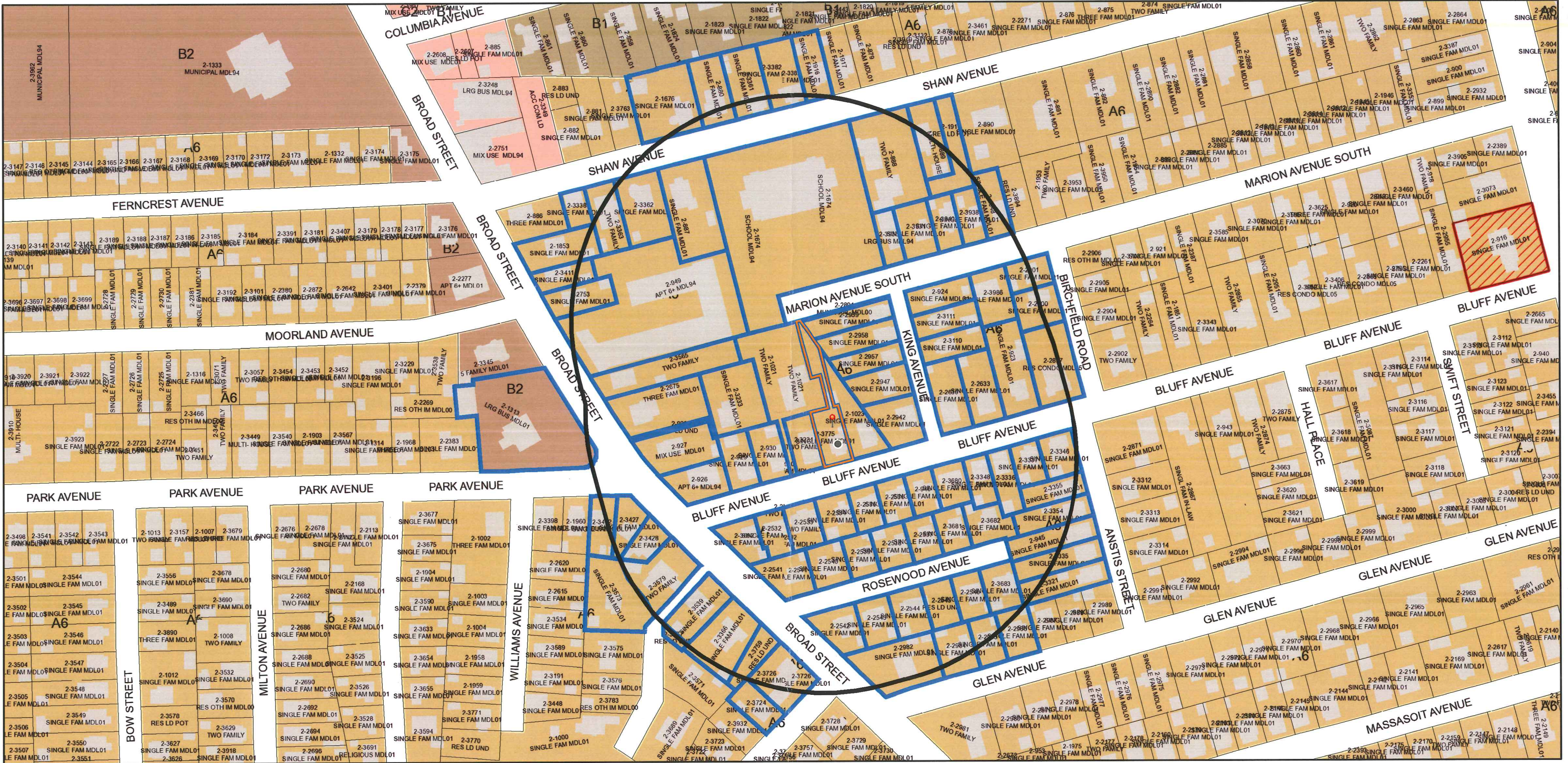
OF 1

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

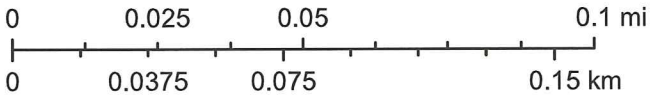
169 Bluff Ave 400' Radius Plat 2 Lot 3775



10/22/2020, 9:32:52 AM

1:2,081

- | | | | | | | | | | |
|--|-------------------|--|---------------------------|--|-----|--|----|--|-------|
| | Parcel Outlines | | Buildings | | A20 | | C1 | | M2 |
| | Plat Boundaries | | Zoning Dimensions | | A12 | | C2 | | EI |
| | Parcel ID Labels | | Historic Overlay District | | A8 | | C3 | | MPD |
| | Streets Names | | Zoning | | A6 | | C4 | | S1 |
| | Cranston Boundary | | none | | B1 | | C5 | | Other |
| | Parcels | | A80 | | B2 | | M1 | | |



City of Cranston
City of Providence, Department of Planning and Development